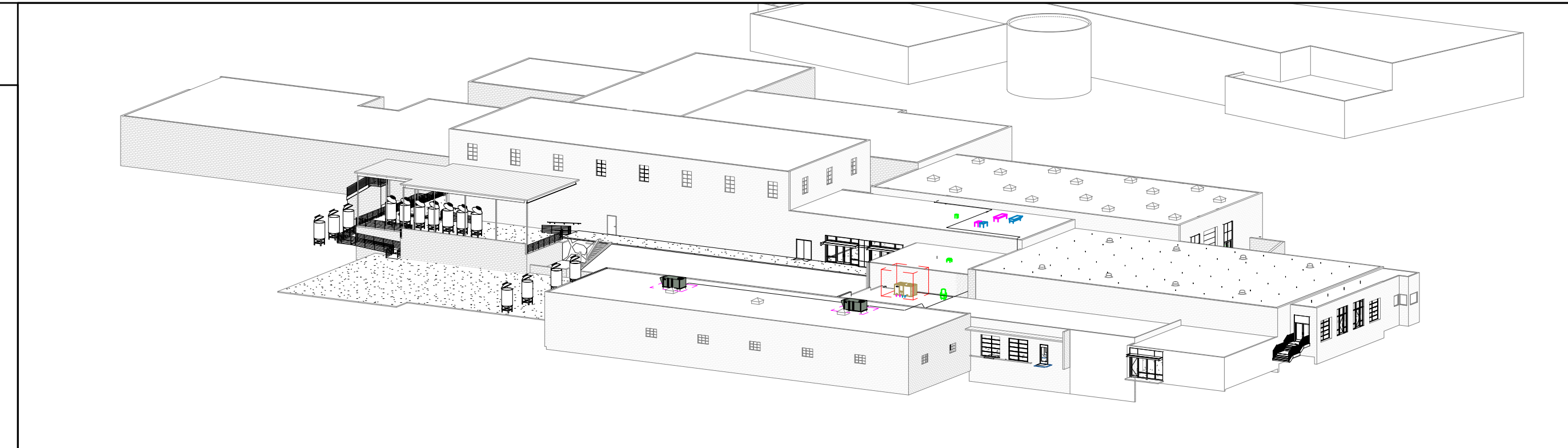


# LUCK'S CANNERY - LOWER BLDG. RENNOVATION

PHASE IA - 798 NC HWY, 705 SEAGROVE NC 27341

## ARCHITECTURAL ABBREVIATIONS

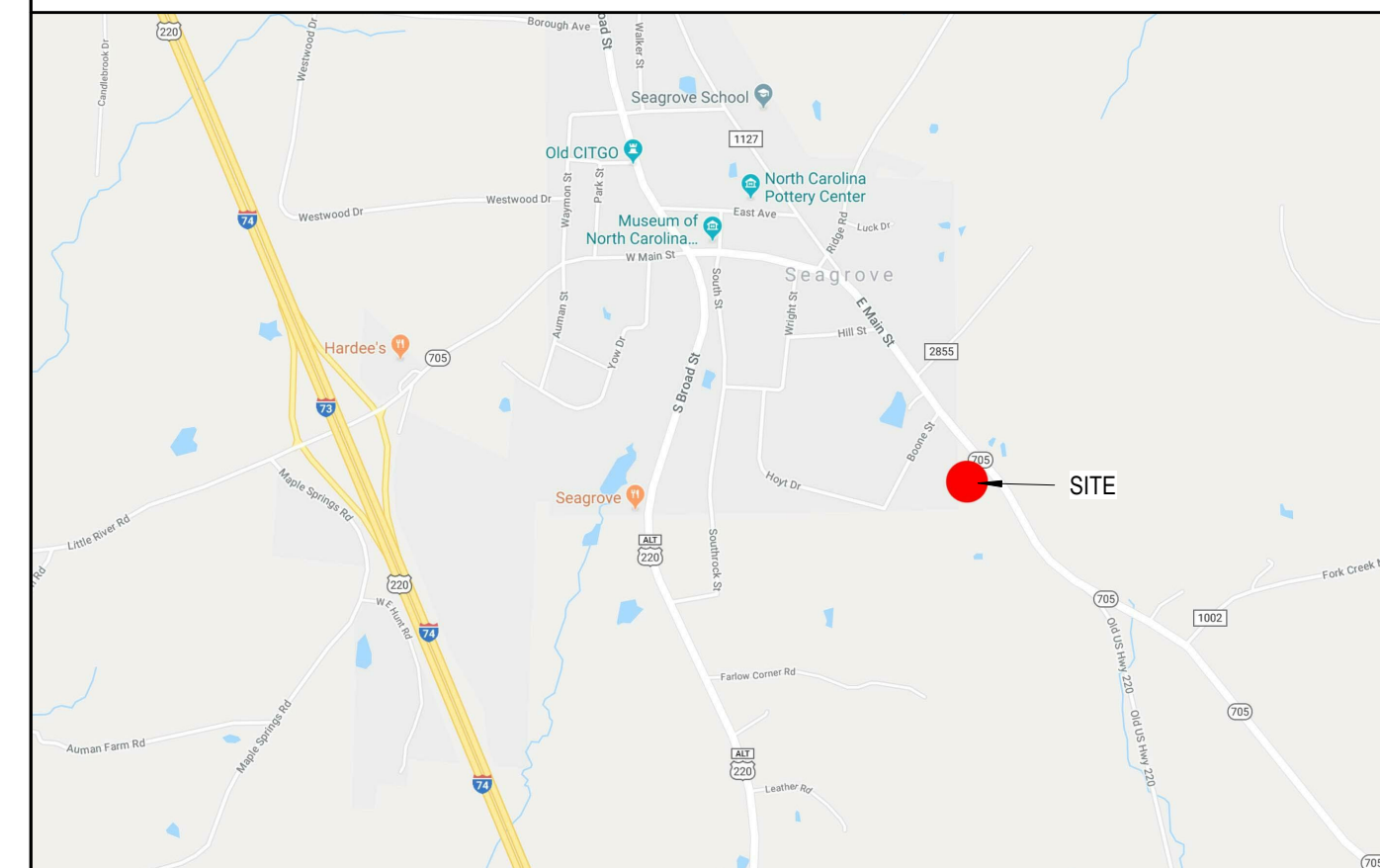
A	ABOVE ACCESS FLOOR	FDN	FOUNDATION	S&R	SHELF & ROD
ABV	ABOVE	FDVC	FIRE DEPT. VALVE CABINET	SB	SMART BOARD
ACCES	ACCESSIBLE	FE	FIRE EXTINGUISHER	SC	SPECIAL COATING, SOLID CORE
ACOUS	ACOUSTICAL	FEC	FIRE EXTINGUISHER CABINET	SD	SOAP DISPENSER
ACT	ACOUSTICAL CEILING TILE	FH	FIRE HYDRANT	SF	SQUARE FOOT/FEET
AD	AREA DRAIN, ACCESS DOOR	FIN	FINISH(ED)	SG	FLOOR
ADJ	ADJACENT	FL, FLR	FLOOR	SHT	SAFETY GLASS
AFF	ABOVE FINISHED FLOOR	FLAM	FLAMMABLE	SIM	SHEET
AFL	ACCESS FLOOR(ING)	FLOUR	FLOURECENT	SIM	SIMILAR
AGGR	AGGREGATE	FO	FIBER OPTIC(S)	SLD	SEALED
AHU	AIR HANDLING UNIT	FOB	FACE OF BRICK	SOG	SLAB ON GRADE
ALT	ALTERNATE	FCC	FACE OF CONCRETE	SP	SUMP PUMP
ALUM	ALUMINUM	FOP	FACE OF PLASTER	SPEC	SPECIFICATION
ANOD	ANODIZED	FP	FIRE PROTECTION, FILLER PANEL	SQ	SQUARE
AP	ACCESS PANEL	FRT	FIRE RETARDANT TREAT(ED)MENT	SS	STAINLESS STEEL
APPD	APPROVED	FS	FLOOR SINK	ST	STORM SEWER, STONE, STAIN
APPROX	APPROXIMATE	FSACCP	FLAT SEAM ALLOY - COATED COPPER PANEL	STD	STANDARD
ARCH	ARCHITECTURE (URE,URAL)	FT	FEET, FOOT, FULL TIME	STL	STEEL
AS	ABOVE SLAB	FTG	FOOTING	STOR	STORAGE
ASPH	ASPHALT	GC	GENERAL CONTRACTOR	STRUCT	STRUCTURE, (L)
AUTO	AUTOMATIC	HTR	HEATER	SUSP	SUSPENDED
AUX	AUXILIARY	HVAC	HEATING, VENTILATION, AIR CONDITIONING	SYS	SYSTEM
AVG	AVERAGE	HW	HOT WATER	T	THREAD
B/C	BOTTOM OF CURB	HW	HOT WATER	T&B	TOP & BOTTOM
BALC	BALCONY	HWD	HARDWOOD	T&G	TONGUE & GROOVE
BD	BOARD	HWR	HOT WATER RETURN	T/	TOP OF
BEL	BELOW	I.E.	THAT IS	T/C	TOP OF CONCRETE
BET	BETWEEN	ID	INSIDE DIAMETER	T/F	TOP OF FRAME
BKBD	BACKBOARD	IN	INTERIOR	T/S	TOP OF STEEL
BLDG	BUILDING	INV	INVERT(ED)	T/W	TOP OF WALL
BLKG	BLOCKING	JB	JUNCTION BOX	TB	TACKBOARD
BLKHD	BULKHEAD	JC	JANITOR'S CLOSET	TEL	TELEPHONE
BM	BEAM	JG	JAMB GUARD	TEMP	TEMPERATURE
BOD	BASIS OF DESIGN	JT	JOINT	TER	TERRAZO
BOT	BOTTOM	JTS	JOINTS	THK	THICK
BRG	BEARING	KS	KNEE SPACE, KICK SPACE	THR	THRESHOLD
BRK	BRICK	LAM	LAMINATED	TOIL	TOILET
BRKT	BRACKET	LAV	LAVATORY	TV	TELEVISION
BSMT	BASEMENT	LGMF	LIGHT GAUGE METAL FRAMING	TYP	TYPICAL
BUR BYD	BUILT-UP ROOF BEYOND	LN	LINEN	UC	UNDERCUT
C	CONDUIT	LL	LIVE LOAD	UG	UNDERGROUND
CAB	CABINET	LLH	LONG LEG HORIZONTAL	UNFIN	UNFINISHED
CAP	CAPACITY	LLV	LONG LEG VERTICAL	UNO	UNLESS NOTED OTHERWISE
CAT	CATALOG	LP	LOW POINT	UPS	UNINTERRUPTIBLE POWER SUPPLY
CD	CATCH BASIN	MB	MARKER BOARD	UTL	UTILITY
CEM	CEMENT	MEJ	MASONRY EXPANSION JOINT	VAR	VARIABLE
CF	CUBIC FOOT	MTD	MOUNT(ED)	VB	VINYL BASE
CI	CAST IRON	MTL	METAL	VCT	VINYL COMPOSITE TILE
CJ	CONTROL JOINT	N.I.C.	NOT IN CONTRACT	VEN	VENEER
CLG	CEILING (SEE ALSO MECH ABBREVIATIONS)	NO	NUMBER	VERT	VERTICAL
QLL	CONTRACT LIMIT LINE	NOM	NOMINAL	VEST	VESTIBULE
CLOS	CLOSET	NTS	NOT TO SCALE	VIF	VERIFY IN FIELD
CLR	CLEAR(ANCE)	OA	OVERALL	VIN	VINYL
CMU	CONCRETE MASONRY UNIT	OC	ON CENTER	VT	VAPOR TIGHT
CO	CLEAN OUT	OD	OUTSIDE DIAMETER	VTR	VENT THROUGH ROOF
COL	COLUMN	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED	WVC	VINYL WALL COVERING
CONC	CONCRETE	OFPI	OWNER FURNISHED CONTRACTOR INSTALLED	W	WIDE, WIDTH, WATER
COND	CONDENS(ATE,ER,ING,ATION)	OH	OVERHEAD	W/	WITH
CONF	CONFERENCE	OPG	OPENING	W/O	WITHOUT
CONN	CONNECTION	OPP	OPPOSITE	WC	WATER CLOSET
CONN	CONSTRUCTION	OZ	OUNCE	WD	WOOD
CONT	CONTINU(OUS,ATION)	P	POLE	WH	WATER HEATER
CONTR	CONTRACTOR	PB	PULL BOX	WP	WATERPROOF
COORD	COORDINATE	PCC	PRECAST CONCRETE	WT	WEIGHT
CPT	CARPET	PD	PRESSURE DROP	WTC	WATER COOLER
CRS	COURSE	PH	PHASE	WTR	WATER
CT	CERAMIC TILE	PL	PLATE		
CW	COLD WATER	PLAM	PLASTIC LAMINATE		
CWR	COLD WATER RETURN	PLAS	PLASTER		
CY	CUBIC YARD	PLMB	PLUMBING		
CYL	CYLINDER	PLYWD	PLYWOOD		
DET	DETAIL	PNL	PANEL		
DRWR	DRAWER	POLY	POLYCARBONATE		
DS	DOWNSPOUT	PS	PROJECTION SCREEN		
DWGS	DRAWINGS	PSF	POUNDS PER SQUARE FOOT		
EF	EXHAUST FAN	PSI	POUNDS PER SQUARE INCH		
EHD	ELECTRIC HAND DRYER	PT	PRESSURE TREATED		
EIFS	EXTERIOR INSULATION & FINISH SYSTEM	PTD	PAINTED		
EJ	EXPANSION JOINT	PTN	PARTION		
ELEC	ELECTRICAL	PVC	POLYVINYL CHLORIDE		
EMER	EMERGENCY	QT	QUARRY TILE		
ENCL	ENCLOSURE	QTY	QUANTITY		
EOS	EDGE OF SLAB	R_	RISER LINE		
EP	ELECTRICAL PANEL	RAD	RADIUS		
EPX	EPOXY	RB	RUBBER BASE		
EQ	EQUAL	RD	ROOF DRAIN		
EQUIP/EQPT	EQUIPMENT	REF	REFERENCE		
ETR	EXISTING TO REMAIN	REINF	REINFORCED		
ETRL	EXISTING TO BE RELOCATED	REQD	REQUIRED		
EW	EACH WAY	RESIL	RESILIENT		
EWC	ELECTRIC WATER COOLER	RLE	RELOCATE EXISTING		
EXH	EXHAUST	RM	ROOM		
EXP	EXPANSION	RTU	ROOF TOP UNIT		
FC	FLOOR TO CEILING				
FAI	FRESH AIR INTAKE				
FB	FOILBACKED				
FBR	FABRIC				
FD	FLOOR DRAIN, FIRE DAMPER				



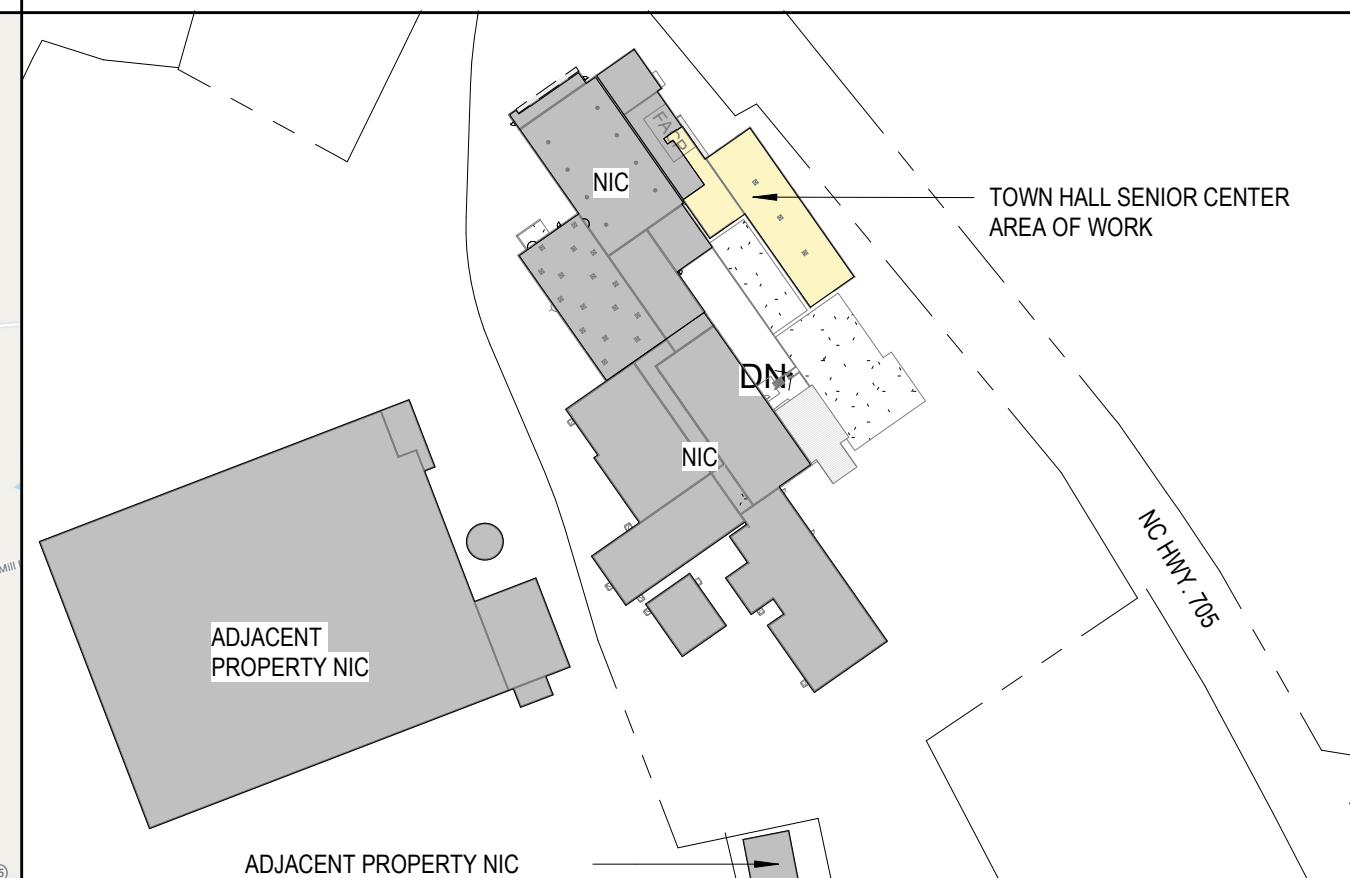
## SHEET LIST

Sheet #	Sheet Name
CS000	COVER SHEET
CS100	PROJECT OVERVIEW
CS101	APPENDIX-B
CS102	LIFE SAFETY PLAN
CS200	TYPICAL ACCESSIBILITY DETAILS
CS201	TYPICAL MOUNTING HEIGHTS
D100	OVERALL BUILDING DEMOLITION PLAN
D101A	TOWN HALL DEMOLITION PLAN
D102A	TOWN HALL DEMOLITION RCP
MD100	TOWNHALL FLOOR PLAN - DEMO - MECHANICAL
L300	SITE RELATED DETAILS
L310	SITE RELATED DETAILS
S100	GENERAL NOTES
S101	FOUNDATION
S102	FRAMING PLAN
S501	TYPICAL DETAILS
A000	GENERAL NOTES & PARTITION TYPES
A001	ARCHITECTURAL SITE PLAN (ADD ALTERNATE #1)
A003	SITE PLAN DETAILS (ADD ALTERNATE #2)
A100	TOWN HALL FLOOR PLAN & REFLECTED CEILING PLAN
A101	TOWN HALL ROOF PLAN
A200	EXTERIOR ELEVATIONS
A300	INTERIOR ELEVATIONS
A400	ENLARGED PLANS, ELEVATIONS, & DETAILS
A500	WALL SECTION & DETAILS
A501	WALL SECTIONS & DETAILS
A600	DOOR SCHEDULE
A601	DOOR DETAILS
A602	DOOR SPECIFICATIONS
A700	WINDOW SCHEDULE
A800	FINISH SCHEDULE
E001	LEGEND
E002	ELECTRICAL SPECIFICATIONS
E101	LIGHTING PLAN - FIRST FLOOR
E201	POWER & FIRE ALARM PLAN - FIRST FLOOR
E202	POWER PLAN - ROOF
E501	SCHEDULES
E601	DETAILS
M001	NOTES & LEGENDS - MECHANICAL
M003	MECHANICAL SPECIFICATIONS
M100	TOWNHALL FLOOR PLAN MECHANICAL
M101	GAS PIPING PLAN - MECHANICAL
M201	SCHEDULES - MECHANICAL
M301	DETAILS - MECHANICAL
P001	NOTES & LEGENDS - PLUMBING
P100	TOWNHALL FLOOR PLAN - PLUMBING
P201	SCHEDULES & DETAILS - PLUMBING

## VICINTIY MAP



## PROPERTY MAP



## GENERAL NOTES:

- GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY INCONSISTENCIES OR DISCREPANCIES WITH THE PLANS IN RELATION TO THE EXISTING FIELD CONDITIONS.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES IN PLACE WITHIN THE JURISDICTION OF THE WORK.
- ALL DIMENSIONS LOCATING WALLS ARE TAKEN FROM OUTSIDE FACE OF FRAMING OR SURFACE OF MASONRY UNLESS OTHERWISE INDICATED.
- DO NOT SCALE PLANS. WRITTEN DIMENSIONS GOVERN.
- CONTRACTOR REMOVED ITEMS SHALL BE DISPOSED OF PROPERLY OFF-SITE AND IN AN EXPEDIOUS MANNER.
- SHORING OF STRUCTURAL FOUNDATIONS, STRUCTURES, TRENCHING REQUIRED TO COMPLETE THE WORK DESCRIBED IN THE CONSTRUCTION DOCUMENTS IS CONSIDERED A METHOD OR TECHNIQUE AND IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. IF A REGULATOR AGENCY REQUIRES A LICENSED ENGINEER OR ARCHITECT TO SUPERVISE, APPROVE AND/OR PROVIDE DRAWINGS FOR SHORING, THEN IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTRACT FOR THIS SERVICE AS PART OF THE BASE BID.
- ALL NEW PARTITIONS TO TERMINATE AT UNDERSIDE OF ROOF STRUCTURE
- ALL EXISTING CONDITIONS DAMAGED FROM EQUIPMENT REMOVAL TO BE PATCHED AND REPAIRED TO MATCH ADJACENT EXISTING
- ALL EXISTING SLAB PENETRATIONS OPENINGS NOT UTILIZED BY EXISTING EQUIPMENT SHALL BE INFILLED TO MATCH ADJACENT EXISTING CONDITIONS.
- RATED CONSTRUCTION SHALL BE COORDINATED WITH THOSE IDENTIFIED ON THE LIFE SAFETY DRAWINGS, IN ADDITION TO THE CONSTRUCTION DOCUMENTS.
- ALL NEW DOOR FRAMES TO BE INSTALLED WITHING EXISTING CMU WALLS TO BE ANCHORED AND GROUDED.

## MATERIAL INDICATIONS

	ALUMINUM
	BATT INSULATION
	BRICK
	COMPACTED BACKFILL CONCRETE
	CONCRETE MASONRY UNITS
	EARTH
	FINISH WOOD
	GLASS IN ELEVATION
	GRANULAR FILL
	GYPSUM WALL BOARD OR GROUD
	PARTICLE BOARD/ FIBER BOARD
	PLYWOOD
	RIGID INSULATION / ROOF INSULATION
	ROUGH WOOD BLOCKING (CONTINUOUS)
	ROUGH WOOD BLOCKING (INTERRUPTED)
	STEEL
	STONE (CUT OR CAST)

## RCP LEGEND

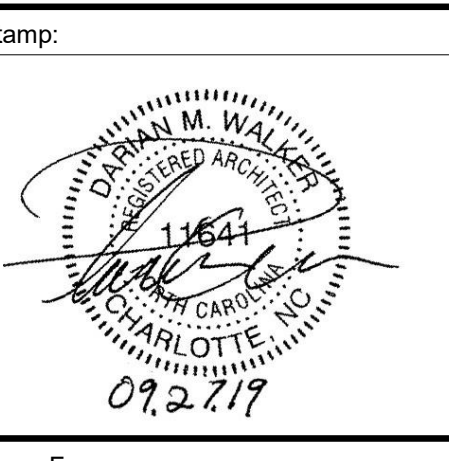
	NO CEILING
	GWB CEILING
	2' x 2' ACOUSTIC CEILING TILE
	RECESSED DOWNLIGHT
	SUSPENDED TRACK & TRACK LIGHTS
	SUSPENDED PENDANT LIGHT

## SYMBOLS LEGEND

	OFFICE		WALL / PARTITION TYPES
	ROOM NAME & NUMBERS		MATERIAL KEY NOTE
	DOOR NUMBERS		CONSTRUCTION KEY NOTE
	COLUMN NUMBERS		FLOOR BOX
	ELEVATION TARGET		FLOOR DRAIN
	WINDOW / LOUVER		CASEWORK TAG
	REVISION NUMBER		EQUIPMENT TAG

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Project Owner:  
**LUCK'S CANNERY REDEVELOPMENT -PHASE I-**  
Seagrove, NC 27341

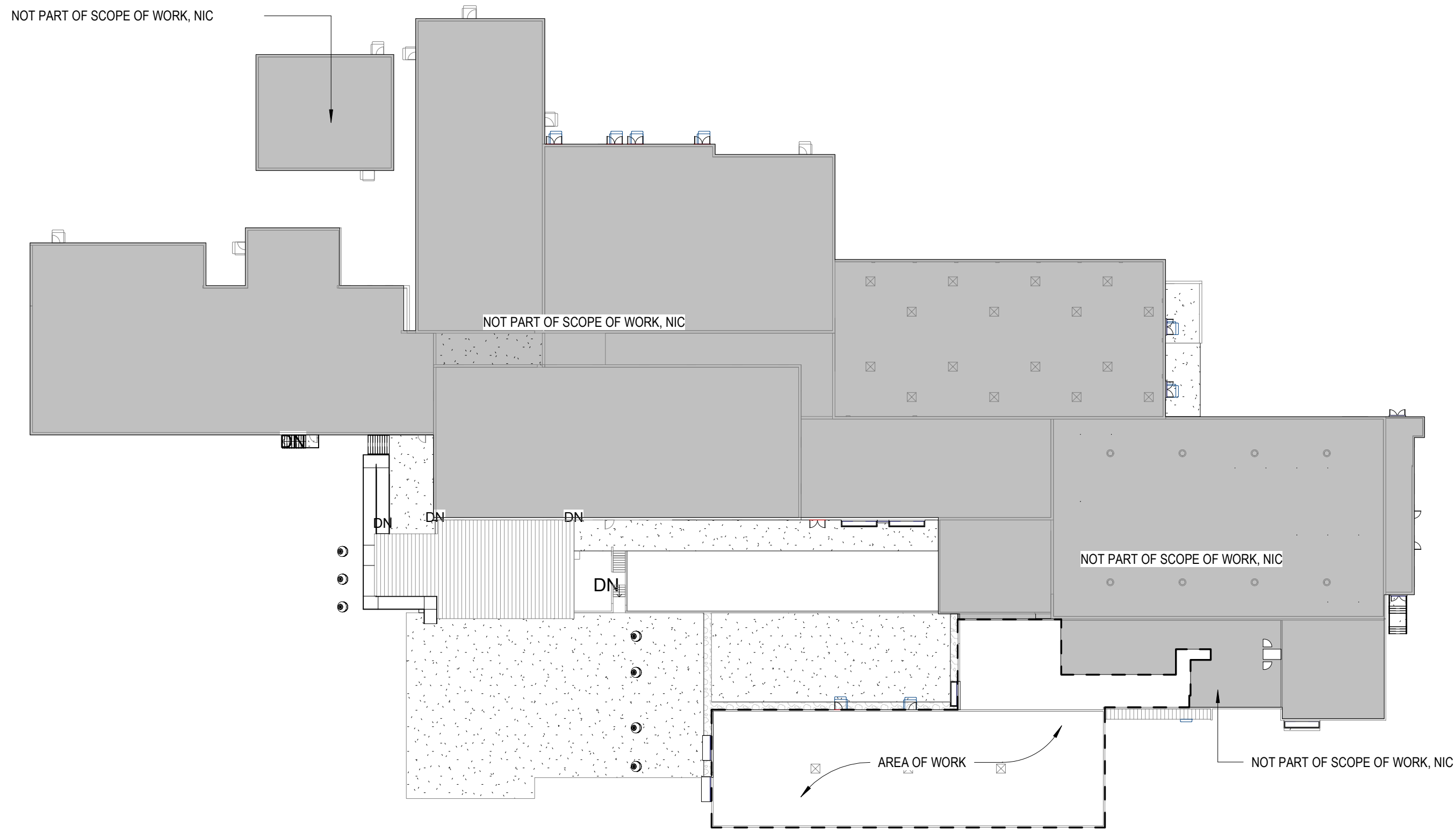


Issue For:  
**CONSTRUCTION**  
Issue Date:  
09.27.2019

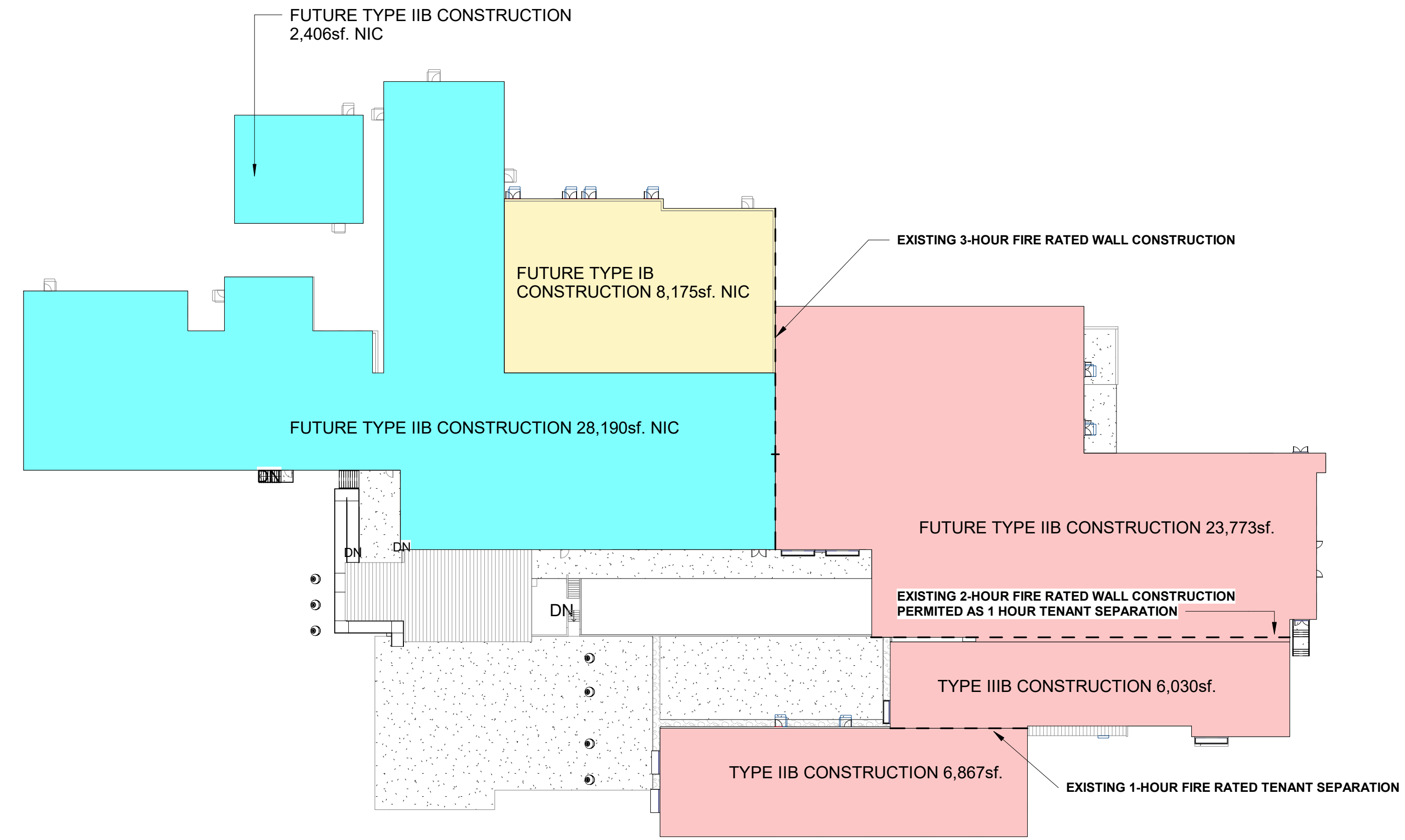
NO.	REASON	DATE

Principal in Charge:  
D. WALKER  
Project Address:  
**LUCK'S CANNERY - LOWER BLDG. RENNOVATION - PHASE IA**  
798 NC Hwy. 705 Seagrove, NC 27341

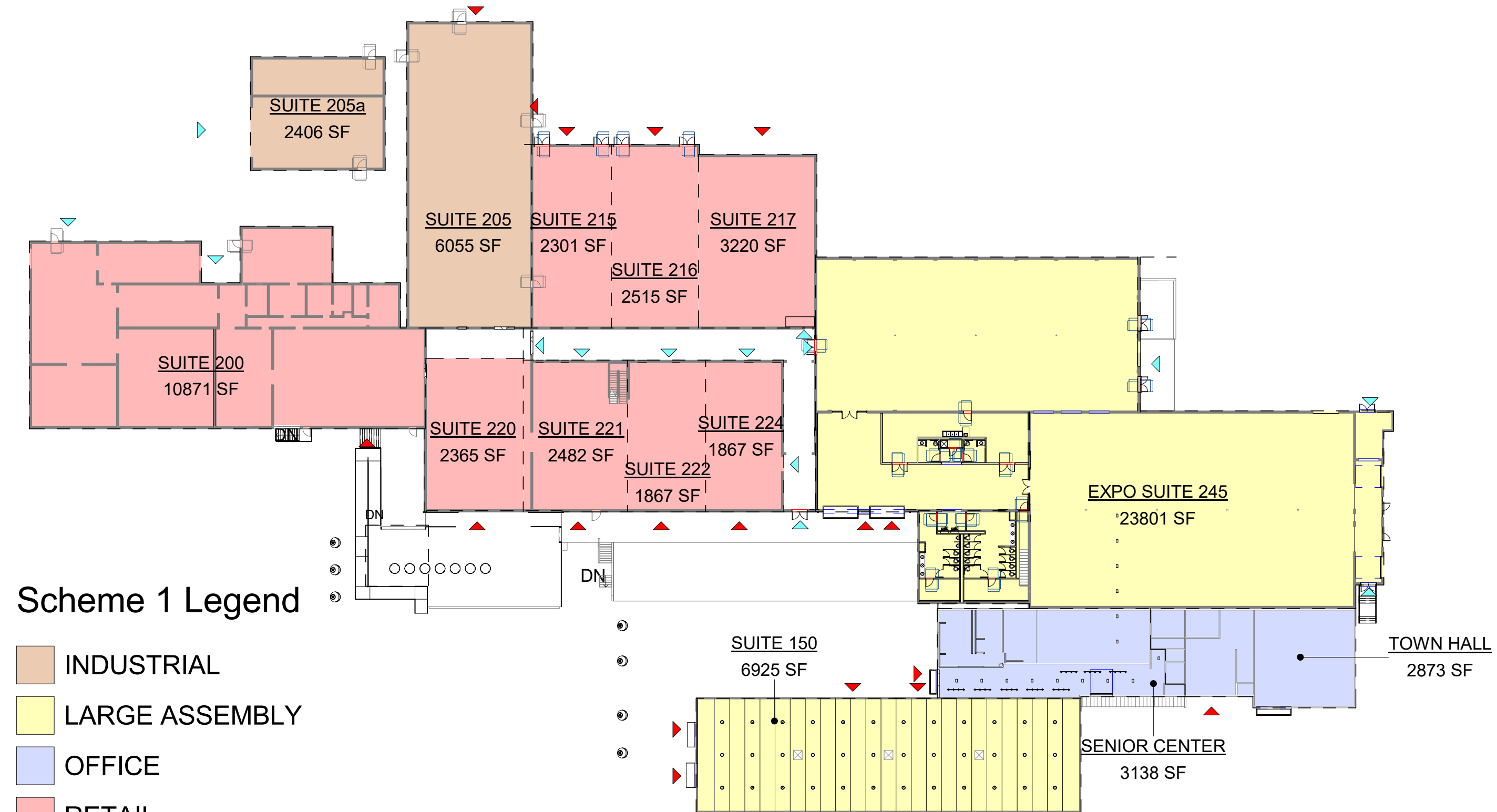
Project Number:  
201901.1  
Sheet Title:  
**COVER SHEET**  
Sheet Number:  
**CS000**



SCOPE OF WORK - OVERVIEW PLAN  
1" = 40'-0" 4



PROPOSED PERMITTED CONSTRUCTION TYPES  
1" = 40'-0" 2



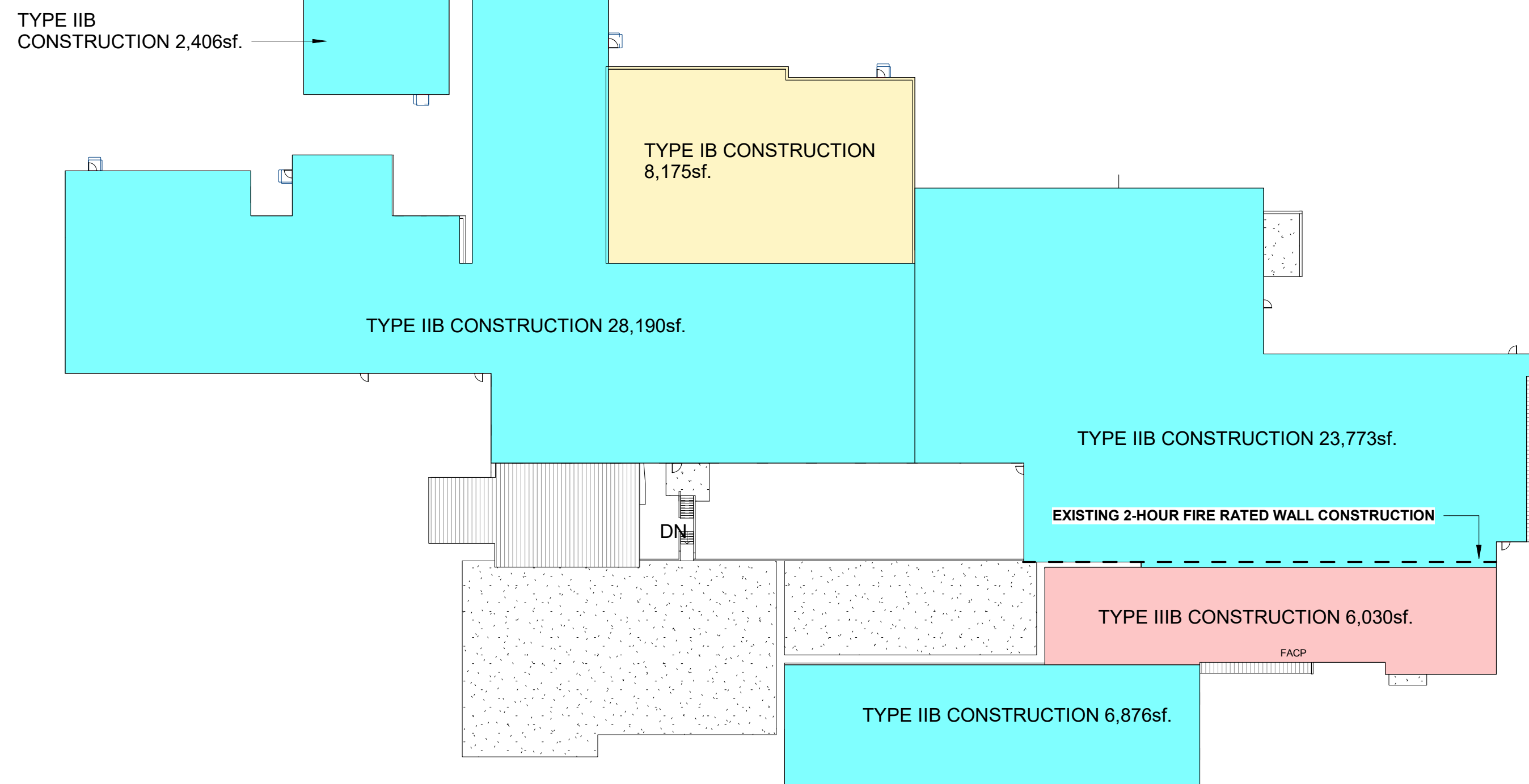
- Scheme 1 Legend**
- INDUSTRIAL
  - LARGE ASSEMBLY
  - OFFICE
  - RETAIL
  - Calculating...

PROPOSED MASTERPLAN TENANT LAYOUTS  
1" = 40'-0" 3

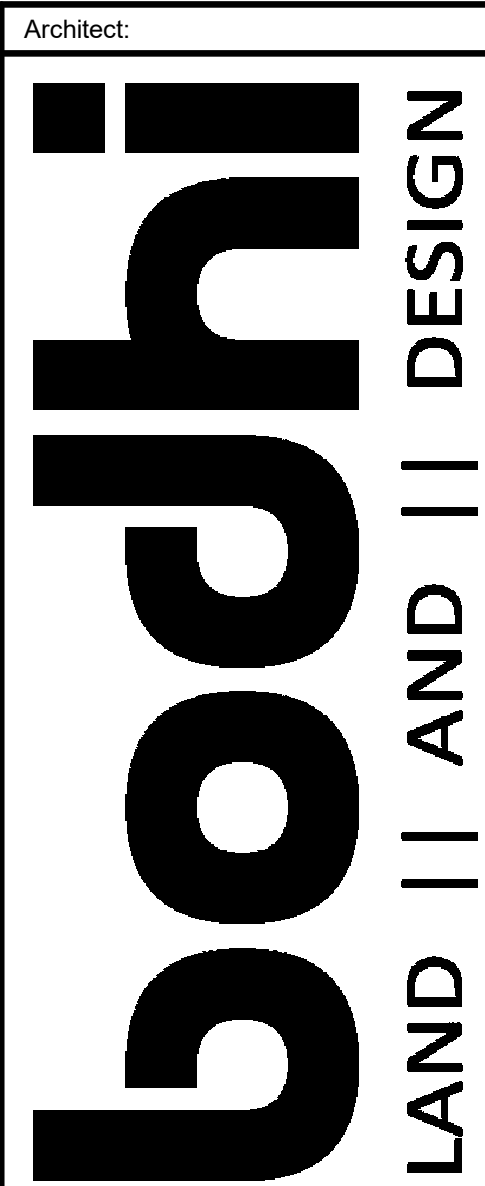
**TYPE IB CONSTRUCTION:**  
ALL BUILDING ELEMENTS (STRUCTURAL FRAME, BEARING WALLS, FLOORS, AND ROOFS) ARE NONCOMBUSTIBLE ACCORDING TO TABLES 601 AND 602. BUILDING ELEMENTS ARE NOT PROTECTED.

**TYPE IIB CONSTRUCTION:**  
MASONRY BEARING WALLS W/ STEEL STUDS INTERIOR FRAMING, AND STEEL BAR JOIST. (BUILDING ELEMENTS NOT REQUIRED TO BE FIRE RESISTANCE RATED, BUT STILL NON-COMBUSTIBLE. BUILDING ELEMENTS ARE NOT PROTECTED.

**TYPE IIIB CONSTRUCTION:**  
EXTERIOR WALLS ARE NON-COMBUSTIBLE MATERIALS AND INTERIOR BUILDING ELEMENTS ARE ANY MATERIAL PERMITTED BY CODE (COMBUSTIBLE OR NON-COMBUSTIBLE). THIS IS TYPICAL OF BUILDINGS WITH MASONRY BEARING WALLS AND WOOD ROOFS. BUILDING ELEMENTS ARE NOT PROTECTED.

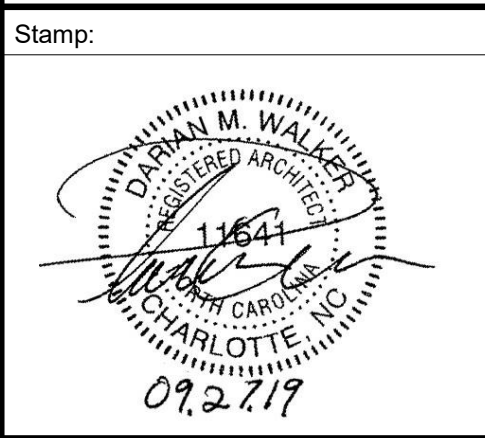


EXISTING BUILDING CONSTRUCTION TYPES  
1" = 40'-0" 1



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Project Owner:  
**LUCK'S CANNERY REDEVELOPMENT -PHASE I-**  
 Seagrove, NC 27341



Issue For:  
**CONSTRUCTION**  
 Issue Date:  
 09.27.2019

REVISIONS

NO.	REASON	DATE

PRINCIPAL IN CHARGE:  
 D. WALKER  
 Project Address:  
 LUCK'S CANNERY - LOWER BLDG. RENNOVATION - PHASE IA  
 798 NC Hwy. 705 Seagrove, NC 27341

Project Number:  
 201901.1  
 Sheet Title:  
**PROJECT OVERVIEW**

Sheet Number:  
**CS100**

**2015 APPENDIX B - FIRE AREA "A"  
BUILDING CODE SUMMARY  
FOR ALL COMMERCIAL PROJECTS  
(except 1 and 2-family dwellings and townhouses)  
(Reproduce the following data on the building plans sheet 1 or 2)**

Name of Project: **Luck's Cannery**  
Address: **798 NC HWY. 705, SEAGROVE** Zip Code: **27341**  
Proposed Use: **ASSEMBLY**  
Owner/Authorized Agent: **DAVID FERNANDEZ** Phone #: (336) 873-XXXX E-Mail: **dfernandez@triad.rr.com**  
Owned By: TOWN OF SEAGROVE  City/County  Private:  State:   
Code Enforcement Jurisdiction:  City/County Jurisdiction **RANDOLPH** State: NC

**Project Summary**

Building Description:  
**Existing 1-story type II-B fully sprinklered warehouse & office building with load bearing concrete masonry unit exterior walls and open web bar joist and composite metal deck roof.**

Project Description:  
**Alterations to a portion of the existing office building and warehouse. Work will include new partitions, new entry/egress, new restrooms, new finishes, and alterations to mechanical, electrical, and sprinkler system.**

Code Compliance Summary:  
**Work will comply with the requirements of the 2018 NCBC Chapter 34 as applicable for alterations and renovation work for existing buildings.**

Lead Design Professional					
Designer	Firm	Name	Lisc. #	Telephone #	Email Address:
Architectural	<b>Bodhi Land and Design, PLLC</b>	<b>Darian Walker</b>	<b>11641</b>	<b>704.778.6608</b>	<b>darian@bodhilandanddesign.com</b>
Landscape Arch	<b>Jeffrey Claus</b>	<b>Jeffrey Claus</b>	<b>1691</b>	<b>919.605.7100</b>	<b>jakdesign19@gmail.com</b>
Electrical	<b>Bodhi Land and Design, PLLC</b>	<b>Darian Walker</b>	<b>11641</b>	<b>704.778.6608</b>	<b>darian@bodhilandanddesign.com</b>
Fire Alarm	<b>Bodhi Land and Design, PLLC</b>	<b>Darina Walker</b>	<b>11641</b>	<b>617.818.7939</b>	<b>ekulenic@gmail.com</b>
Plumbing	<b>McVeigh &amp; Mangum Eng., Inc.</b>	<b>Larry P. McWilliams</b>	<b>040327</b>	<b>704.547.9035</b>	<b>lmcwilliams@mcveighmangum.com</b>
Mechanical	<b>McVeigh &amp; Mangum Eng., Inc.</b>	<b>Larry P. McWilliams</b>	<b>040327</b>	<b>704.547.9035</b>	<b>lmcwilliams@mcveighmangum.com</b>
Sprinkler/Standpipe	<b>Lynch Mykings</b>	<b>Bryan Covington</b>	<b>54141</b>	<b>919.782.1833</b>	<b>bcovington@lynchmykings.com</b>
Structural	<b>Lynch Mykings</b>	<b>Bryan Covington</b>	<b>54141</b>	<b>919.782.1833</b>	<b>bcovington@lynchmykings.com</b>
Retaining Walls >5'					
Other					

2018 NC Building Code:  New Building  Addition  Renovation  
 1st Time Interior Completion  
 Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements  
 Phased Construction - Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements

2018 NC Existing Building Code: Existing:  Prescriptive  Repair  Chapter 14  
Alteration:  Level I  Level II  Level III  
 Historic Property  Change of Use

Constructed: 1970's Current Occupancy(s) (Ch. 3): Storage  
Renovated: Present Current Occupancy(s) (Ch. 3): Assembly A-3

Risk Category (Table 1604.5):  
Current:  I  II  III  IV  
Proposed:  I  II  III  IV

**Basic Building Data**

Construction Type:  I-A  II-A  III-A  IV  V-A  
 I-B  II-B  III-B  V-B  
Sprinklers:  No  Partial  Yes  NFPA13  NFPA13  NFPA13D  
Standpipes:  No  Yes  Class I  Class II  Class III  Wet  Dry  
Fire District:  No  Yes  Flood Hazard Area:  No  Yes

Special Inspections Required:  No  Yes (Contact the local inspection jurisdiction for additional procedures and requirements)

Gross Building Area: <b>Existing Unchanged</b>				
Floor	Existing (SF)	New (SF)	Subtotal (SF)	Affected Area (SF)
1st Floor	73,426	N/A	73,426	36,009
2nd Floor	11,441	N/A	11,441	0
Total	84,867	N/A	84,867	36,009

**Occupancy:**  
Assembly:  A-1  A-2  A-3  A-4  A-5  
Business:  B  
Educational:  E  
Factory:  F-1 Moderate  F-2 Low  
Hazardous:  H-1 Detonate  H-2 Deflagrate  H-3 Combust  H-4 Health  H-5 HPM  
Institutional:  I-1 Condition  1  2  
 I-2 Condition  1  2  
 I-3 Condition  1  2  3  4  5  
 I-4  
Merchandise:  M-1  
Residential:  R-1  R-2  R-3  R-4  
Storage:  S-1 Moderate  S-2 Low  High-Piled  
Utility and Miscellaneous:  Parking Garage  Open  Enclosed  Repair Garage

Accessory Occupancies Classifications: Business, Merchandise, and S-2  
Incidental Uses (Table 509):  
Special Uses (Chapter 4 - List Code Sections):  
Special Provisions (Chapter 5 - List Code Sections):

Mixed Occupancy:  No  Yes Separation: 1 Hr. Exception:  
 Non-Separated Use (508.3) - The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.  
 Separated Use (508.4) See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

Actual Area of Occupancy A + Actual Area of Occupancy B ≤ 1  
Allowable Area of Occupancy A Allowable Area of Occupancy B

ASSEMBLY BUSINESS MERCHANDISE

+ + + = ≤ 1

Story No.	Description and Use	(A) Bldg Area Per Story (Actual)	(B) Table 506.2 Area	(C) Area for Frontage Increase	(D) Allowable Area or Unlimited
1st Floor	Assembly	6,876	38,000		
1st Floor	Business	6,030	76,000		
Total Fire Area		12,906			

- Frontage area increases from Section 506.2 are computed thus:  
a. Perimeter which fronts a public way or open space having 20 feet minimum width =  
b. Total Building Perimeter (P) =  
c. Ratio (F/P) =  
d. W = Minimum width of public way =  
e. Percent of frontage increase If = 100 [ F/P - 0.25 ] x W/30 =
- Unlimited area applicable under conditions of Section 507:
- Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2)
- The maximum area of open parking garages must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1.
- Frontage increase is based on the unspinklered area value in Table 506.2

Allowable Height: <b>Existing Unchanged</b>			
	Allowable	Shown on plans	Code reference
Building Height in Feet (Table 504.3)	55	-20'-0"	
Building Height in Stories (Table 504.4)	3 Stories	1 Story	

Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

Fire Protection Requirements:						
Building Element	Fire Separation Distance (feet)	Rating Req'd	Provided (w/ Reduction)	Detail # and Sheet Number	Design # for Rated Assembly	Design # for Rated Penetration
Structural Frame, including columns, girders, trusses	0					
Bearing Walls	2					
Exterior						
North	> 30 FT					
East	> 30 FT					
West	0 FT					
South	> 30 FT					
Interior walls/partitions	0					
Floor Construction	0					
Including supporting beams and joists						
Floor Ceiling Assembly	0					
Columns Supporting Floors	0					
Roof Construction	0					
Including supporting beam and joists						
Roof Ceiling Assembly	0					
Columns Supporting Roof	0					
Shaft Enclosures - Exit	N/A					
Shaft Enclosures - Other	N/A					
Corridor Separation	N/A					
Occupancy Separation	1					
Party/Fire Wall Separation	3					
Smoke Barrier Separation	1					
Tenant Separation	N/A					
Incidental Use Separation	N/A					

\*Indicate section number permitting reduction

Percentage of Wall Opening Calculations			
Fire Separation Distance (Feet) from Property Lines	Degree of Openings Protection (Table 705.8)	Allowable Area (%)	Actual Shown on Plans (%)
-	-	-	-
-	-	-	-

**Life Safety System Requirements**

Emergency Lighting:  No  Yes  
Exit signs:  No  Yes  
Fire Alarm:  No  Yes  
Smoke Detection Systems:  No  Yes  Partial  
Panic Hardware:  No  Yes

- Life Safety Plan Requirements**  
Life Safety Plan Sheet #: **CS102**
- Fire and/or smoke rated wall locations (Chapter 7)
  - Assumed and real property line locations (if not on the site plan)
  - Exterior wall opening area with respect to distance to assumed property lines (705.8)
  - Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
  - Occupant loads for each area
  - Exit access travel distances (1017)
  - Common path of travel distances (Table 1006.2.1 & 1006.3.2 (1))
  - Dead end lengths (1020.4)
  - Clear exit widths for each exit door
  - Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
  - Actual occupant load for each exit door
  - A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
  - Location of doors with panic hardware (1010.1.10)
  - Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
  - Location of doors with electromagnetic egress locks (1010.1.9.9)
  - Location of doors equipped with hold-open devices
  - Location of emergency escape windows (1030)
  - The square footage of each fire area (202)
  - The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
  - Note any code exceptions or table notes that may have been utilized regarding the items above

Accessible Dwelling Units (Section 1107)							
Total Units	Accessible Units Required	Accessible Units Provided	Type A Units Required	Type A Units Provided	Type B Units Required	Type B Units Provided	Total Accessible Units Provided

Accessible Parking PART OF SEPARATE PACKAGE (Section 1106)						
Lot or Parking Area	Total # of Parking Spaces Required	Provided	# of Accessible Spaces Provided Regular with 5' Access Aisle	132" Access Aisle	Van Spaces With 8' Access Aisle	Type B Units Provided

Plumbing Fixture Requirements (Table 2902.1)										
USE	Water Closet		Urinal		Lavatory		Drinking Fountain			
	Male Required	Female Provided	Male Required	Female Provided	Male Required	Female Provided	Regular Required	Accessible Provided		
A-3	225/sex	1.79	3.45		1.12	1.12				
B	31/sex	1.21	1.21		0.75	0.75				
TOTAL		3	2	5	5	1	1.87	2	1.87	3

Special Approvals  
Special Approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, etc. describe below)

**Structural Design**  
(Provide on the Structural Sheet if Applicable)

Design Loads:  
Importance Factors:  
Snow (ls) **1.0**  
Seismic (le) **1.0**

Live Loads:  
Roof **N/A** psf  
Mezzanine **N/A** psf  
Floor **80** psf

Ground Snow Load: **N/A** psf

Wind Load: Ultimate Wind Speed **90** mph (ASCE-7)  
Exposure Category **B**

Seismic Design Category:  A  B  C  D  
Provide the following Seismic Design Parameters:  
Risk Category (Table 1604.5)  I  II  III  IV  
Spectral Response Acceleration Ss **210%** S1= **0.99%**  
Site Classification (Table 1613.5.2)  A  B  C  D  E  F  
Data Source:  Field Test  Presumptive  Historical Data

Basic Structural System:  
 Bearing Wall  Dual w/ Special Moment Frame  
 Building Frame  Dual w/ Intermediate R/C or special steel  
 Moment Frame  Inverted Pendulum

Analysis Procedure:  Simplified  Equipment Lateral Force  Dynamic  
Architectural, Mechanical, Components Anchored?  Yes  No  
Lateral Design Control:  Earthquake  Wind  
Soil Bearing Capacities:  
Field test (provide copy of test report) \_\_\_\_\_ psf  
Presumptive Bearing Capacity **2,000** psf  
Pile size, type, and capacity \_\_\_\_\_

Energy Summary - EXISTING UNCHANGED

Energy Requirements  
The following shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If Performance methods, state the annual energy cost for the standard reference design vs. annual energy cost for the proposed design.

Existing building envelope complies with code:  No  Yes (The remainder of this section is not applicable)  
Exempt Building:  No  2018 North Carolina State Building Code: Energy Section C505 - C505.1  
General "Unaltered portions of the existing building or building supply systems shall not be required to comply with this code."

Climate Zone:  3  4  5  
Method of Compliance: Energy Code  Performance  Prescriptive  
ASHRAE 90.1  Performance  Prescriptive

**Thermal Envelope**  
Roof/Ceiling Assembly (Each Assembly)  
Description of Assembly  
U-Value of total Assembly  
R-value of total Assembly  
Skylights in each Assembly  
U-Value of skylight  
Total Square Footage of skylights in each assembly  
Exterior Walls (Each Assembly)  
Description of Assembly  
U-Value of total Assembly  
R-value of Insulation  
Openings (windows or doors)  
U-Value of Assembly  
Solar heat gain coefficient  
Projection Factor  
Door R-Value

Walls Below Grade (Each Assembly)  
Description of Assembly  
U-Value of total Assembly  
R-value of Insulation

Floors over unconditioned spaces (each assembly)  
Description of Assembly  
U-Value of total Assembly  
R-value of Insulation

Floors slab on grade  
Description of Assembly  
U-Value of total Assembly  
R-value of Insulation  
Horizontal/vertical requirement:  
slab heated:

**Mechanical Design**  
(Provide on the Mechanical Sheets)

Thermal Zone:  
Winter Dry Bulb \_\_\_\_\_  
Summer Dry Bulb \_\_\_\_\_

Interior Design Conditions:  
Winter Dry Bulb \_\_\_\_\_  
Summer Dry Bulb \_\_\_\_\_  
Relative Humidity \_\_\_\_\_

Building Heating Load \_\_\_\_\_  
Building Cooling Load \_\_\_\_\_  
Mechanical Spacing Conditioning System \_\_\_\_\_  
Unitary \_\_\_\_\_  
Description of Unit \_\_\_\_\_  
Heating Efficiency \_\_\_\_\_  
Cooling Efficiency \_\_\_\_\_  
Size Category of Unit \_\_\_\_\_

Boiler  
Size Category. If oversized, state reason: \_\_\_\_\_

Chiller  
Size Category. If oversized, state reason: \_\_\_\_\_  
List equipment efficiencies: **Refer to Equipment Schedules**

**Electrical Design**  
(Provide on the Electrical Sheets)

Method of Compliance  
Energy Code:  Prescriptive  Performance  
ASHRAE 90.1  Prescriptive  Performance

Lighting Schedule (Each Fixture Type)  
lamp type required in fixture \_\_\_\_\_  
ballast type used in the fixture \_\_\_\_\_  
number of ballasts in fixture \_\_\_\_\_  
total wattage per fixture \_\_\_\_\_  
total interior wattage specified vs. allowed (whole building or space by space) \_\_\_\_\_  
total exterior wattage specified vs. allowed \_\_\_\_\_

Additional Efficiency Package Options  
(When using the 2018 NCECC; not required for ASHRAE 90.1)  
C406.2 More Efficient HVAC Equipment Performance  
C406.3 Reduced Lighting Power Density  
C406.4 Enhanced Digital Lighting Controls  
C406.5 On-Site Renewable Energy  
C406.6 Dedicated Outdoor Air System  
C406.7 Reduced Energy Use in Service Water Heating

Architect:

**BODHI LAND AND DESIGN**

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Project Owner:  
**LUCK'S CANNERY REDEVELOPMENT -PHASE I-**  
Seagrove, NC 27341

Stamp:

Issue For:  
**CONSTRUCTION**

Issue Date:  
09.27.2019

NO.	REASON	DATE

PRINCIPAL IN CHARGE:  
D. WALKER

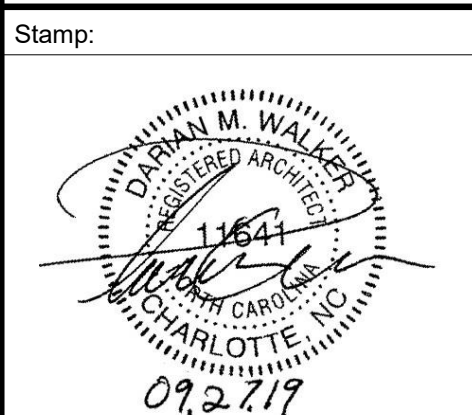
Project Address:  
**LUCK'S CANNERY - LOWER BLDG. RENNOVATION - PHASE IA**

798 NC Hwy. 705 Seagrove, NC 27341

Project Number:  
201901.1

Sheet Title:  
**APPENDIX-B**

Sheet Number:  
**CS101**



Issue For:  
**CONSTRUCTION**  
 Issue Date:  
 09.27.2019

REVISIONS

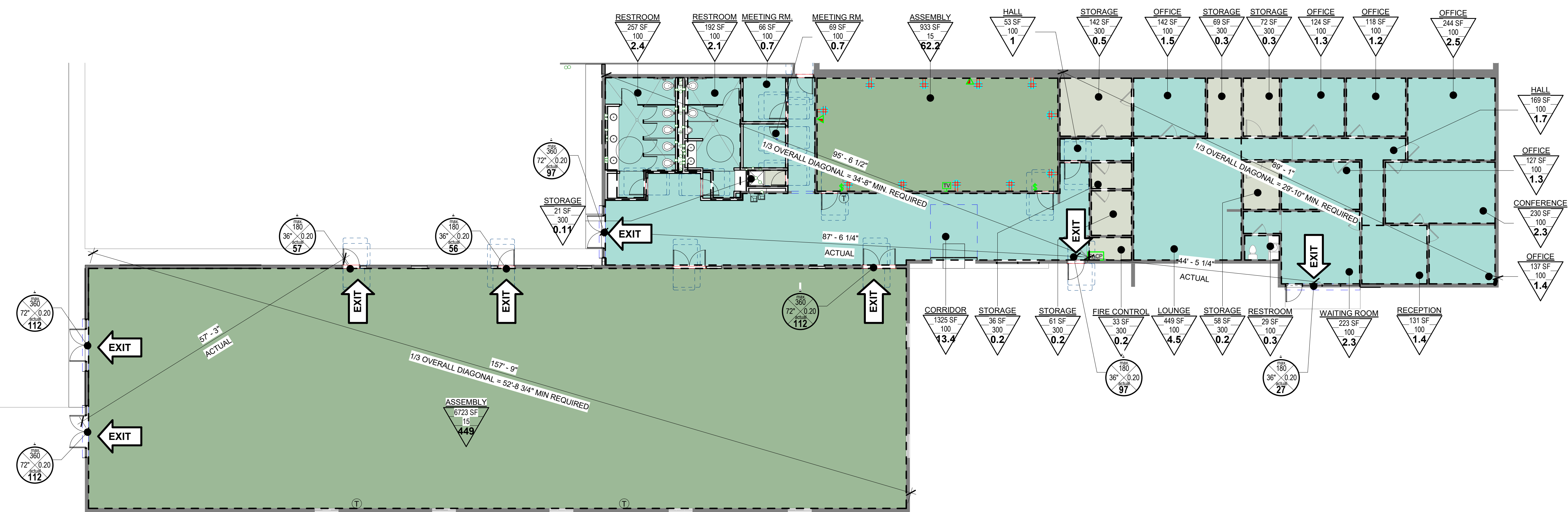
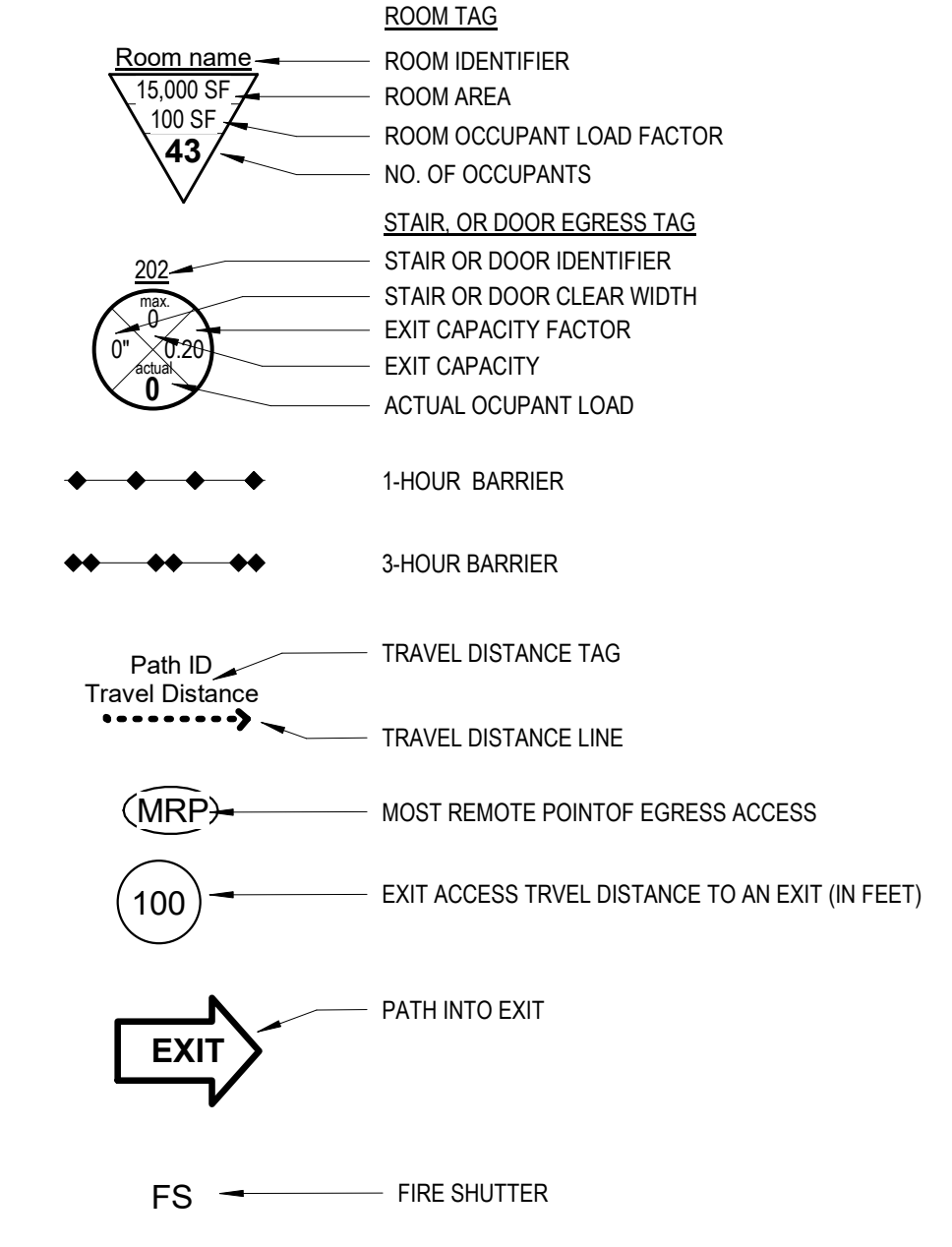
NO.	REASON	DATE

PRINCIPAL IN CHARGE:  
 D. WALKER  
 Project Address:  
**LUCK'S CANNERY - LOWER  
 BLDG. RENNOVATION -  
 PHASE IA**  
 798 NC Hwy. 705 Seagrove,  
 NC 27341

Project Number:  
 201901.1  
 Sheet Title:  
**LIFE SAFETY PLAN**

Sheet Number:  
**CS102**

**LIFE SAFETY LEGEND:**



**ACCESSIBILITY NOTES**

**A. PEDESTRIAN RAMPS**

- ANY PATH OF TRAVEL SHALL BE CONSIDERED A RAMP IF ITS SLOPE IS GREATER THAN 1 FOOT RISE IN 20 FOOT HORIZONTAL RUN (5%).
- PEDESTRIAN RAMPS SERVING ACCESSIBLE ENTRANCES TO BUILDINGS SHALL HAVE A CLEAR WIDTH NOT LESS THAN THE WIDTH REQUIRED FOR WALKS.
- PEDESTRIAN RAMPS SERVING ACCESSIBLE ENTRANCES TO BUILDINGS SHALL BE A MINIMUM 48 INCHES CLEAR WIDTH.
- PEDESTRIAN RAMPS SERVING ACCESSIBLE ENTRANCES TO BUILDINGS HAVING AN OCCUPANT LOAD OF 300 OR MORE SHALL HAVE A MINIMUM CLEAR WIDTH OF 60 INCHES.
- PEDESTRIAN RAMPS SERVING ACCESSIBLE ENTRANCES TO BUILDINGS HOUSING GROUP R OCCUPANCIES MAY BE 36 INCHES CLEAR WIDTH WHEN THE OCCUPANT LOAD IS 50 OR LESS.
- THE MAXIMUM SLOPE OF A RAMP THAT SERVES ANY EXITWAY, PROVIDES DISABLED ACCESS OR IS A PATH OF TRAVEL SHALL BE 1 FOOT RISE IN 12 FEET OF HORIZONTAL RUN. THE LEAST POSSIBLE SLOPE SHALL BE USED FOR ANY RAMP.
- RAMP LANDINGS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF EACH RAMP.
- INTERMEDIATE LANDINGS SHALL BE PROVIDED AT INTERVALS NOT EXCEEDING 30 INCHES OF VERTICAL RISE AND AT EACH CHANGE OF DIRECTION. LANDINGS ARE NOT CONSIDERED IN DETERMINING THE MAXIMUM HORIZONTAL DISTANCE OF EACH RAMP.
- TOP LANDINGS SHALL BE NOT LESS THAN 60 INCHES WIDE AND SHALL HAVE A LENGTH OF NOT LESS THAN 60 INCHES IN THE DIRECTION OF RAMP RUN.
- DOORS IN ANY POSITION SHALL NOT REDUCE THE MINIMUM DIMENSION OF THE RAMP LANDING TO LESS THAN 42 INCHES AND SHALL NOT REDUCE THE REQUIRED WIDTH BY MORE THAN 3-1/2 INCHES WHEN FULLY OPEN.
- THE WIDTH OF THE LANDING SHALL EXTEND 24 INCHES PAST THE STRIKE EDGE OF ANY DOOR OR GATE FOR EXTERIOR RAMPS AND 18 INCHES PAST THE STRIKE EDGE FOR INTERIOR RAMPS.
- INTERMEDIATE LANDINGS AT A CHANGE OF DIRECTION AND BOTTOM LANDINGS SHALL HAVE A DIMENSION IN THE DIRECTION OF RAMP RUN OF NOT LESS THAN 72 INCHES.
- AT BOTTOM AND INTERMEDIATE LANDINGS, THE WIDTH SHALL BE AT LEAST THE SAME AS REQUIRED FOR THE RAMPS.
- OTHER INTERMEDIATE LANDINGS SHALL HAVE A DIMENSION IN THE DIRECTION OF RAMP RUN OF NOT LESS THAN 60 INCHES.
- THE SLOPE ACROSS A RAMP LANDING IN ANY DIRECTION SHALL NOT EXCEED 1/4 INCH RISE IN 1 FOOT OF HORIZONTAL RUN.
- HANDRAILS ARE REQUIRED ON RAMPS THAT PROVIDE DISABLED ACCESS IF THE SLOPE EXCEEDS 1 FOOT RISE IN 20 FEET OF HORIZONTAL RUN.
- HANDRAILS SHALL BE PLACED ON EACH SIDE OF EACH RAMP. HANDRAILS SHALL BE CONTINUOUS. THE FULL LENGTH OF THE RAMP SHALL BE 54 INCHES ABOVE THE FINISHED FLOOR WITH A HORIZONTAL RAIL AT 27" ABOVE RAMP SURFACE WHEN INTERMEDIATE RAILING WITH MAX. OF 4" CLEAR SPACE IS NOT REQUIRED. LOW HORIZONTAL RAIL SHALL EXTEND SAME AS REQUIRED FOR HANDRAILS AND SHALL EXTEND A MIN. OF 1 FOOT BEYOND THE TOP AND BOTTOM OF THE RAMP AND THE ENDS SHALL BE RETURNED TO A WALL, FLOOR, OR POST.
- HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL.
- THE GRIP PORTION OF THE HANDRAIL SHALL BE NOT LESS THAN 1 1/4 INCHES NOR MORE THAN 1 1/2 INCHES IN CROSS SECTIONAL OUTSIDE DIMENSION. ON THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE AND ALL SURFACES SHALL BE SMOOTH WITH NO SHARP CORNERS. SEE TYPICAL ACCESSIBILITY DETAIL SHEET.
- THE SURFACE ON RAMPS SHALL BE NON-SLIP MEETING A COEFFICIENT OF FRICTION OF 0.6.
- WHEN THE RAMP SURFACE IS NOT BOUNDED BY A WALL OR FENCE AND THE RAMP EXCEEDS 10 FEET IN LENGTH, THE RAMP SHALL COMPLY WITH ONE OF THE FOLLOWING REQUIREMENTS:
  - A GUIDE CURB A MINIMUM OF 2 INCHES IN HEIGHT SHALL BE PROVIDED AT EACH SIDE OF THE RAMP. EXCEPT WHEN ADJACENT GRADE IS 4" OR GREATER BELOW RAMP SURFACE, THEN CURB SHALL BE A MIN. 6" HIGH ABOVE RAMP SURFACE.
  - A WHEEL GUIDE RAIL SHALL BE PROVIDED, CENTERED 3 INCHES PLUS OR MINUS 1" INCH ABOVE THE SURFACE ON THE RAMP. SEE NOTE #1-7 FOR ADDITIONAL INFORMATION.
- WHERE A RAMP SURFACE HAS A SLOPE OF 1:20 (5%) OR GREATER AND THE ADJACENT GRADE IS GREATER THAN 4" BELOW THE RAMP SURFACE A CURB 6" HIGH ABOVE THE RAMP SURFACE SHALL BE PROVIDED ALONG SUCH OPEN SIDE OF RAMP SURFACE OR WHEEL GUIDE. SEE 21 B ABOVE.
- WHERE AN ADJACENT GRADE IS 3" BELOW THE OPEN SIDE OF THE RAMP, A 42" HIGH GUARDRAIL SHALL BE INSTALLED WITH INTERMEDIATE MEMBERS SO AN OBJECT OF 6" DIAMETER CAN NOT PASS THROUGH SUCH INTERMEDIATE MEMBERS.

**C. FLOORS AND LEVELS**

- IN BUILDINGS AND FACILITIES, FLOORS OF ANY GIVEN SPACE SHALL HAVE A COMMON LEVEL THROUGHOUT, OR SHALL BE CONNECTED BY PEDESTRIAN RAMPS, PASSENGER ELEVATORS AND/OR, WHEN ALLOWED, SPECIAL ACCESS.
- FLOORS ARE TO BE SLIP RESISTANT.
- SEE THRESHOLD/LEVEL CHANGES DETAIL ON TYPICAL ACCESSIBILITY DETAIL SHEET.
- SEE NOTE #1-7 FOR ADDITIONAL INFORMATION.

**D. SANITARY FACILITIES (GENERAL)**

- WHEN SANITARY FACILITIES ARE LOCATED ON ACCESSIBLE FLOORS OF A BUILDING, THEY SHALL BE MADE ACCESSIBLE TO THE PHYSICALLY DISABLED.
- WHERE SEPARATE FACILITIES ARE PROVIDED FOR NON-DISABLED PERSONS OF EACH SEX, SEPARATE FACILITIES SHALL BE PROVIDED FOR DISABLED PERSONS OF EACH SEX ALSO WHERE UNISEX FACILITIES ARE PROVIDED FOR NON-DISABLED PERSONS, SUCH UNISEX FACILITIES SHALL BE PROVIDED FOR THE DISABLED.
- ALL DOORWAYS LEADING TO SANITARY FACILITIES SHALL HAVE 32 INCH CLEAR UNOBSTRUCTED OPENINGS.
- ON DOORWAYS LEADING TO MEN'S SANITARY FACILITIES, AN EQUILATERAL TRIANGLE 14 INCH THICK WITH EDGES 12 INCHES LONG AND A VERTEX POINTING UPWARD SHALL BE PROVIDED AND ON DOORWAYS LEADING TO WOMEN'S SANITARY FACILITIES A CIRCLE 14 INCH THICK AND 12 INCHES IN DIAMETER SHALL BE PROVIDED. THESE GEOMETRIC SYMBOLS SHALL BE CENTERED ON THE DOOR AT A HEIGHT OF 60 INCHES. THEIR COLOR AND CONTRAST SHALL BE DISTINCTLY DIFFERENT FROM THE COLOR AND CONTRAST OF THE DOOR. PROVIDE PICTOGRAM ON THE WALL ADJACENT TO THE DOOR LATCH SIDE AS NOTED IN THE "SIGNS/PICTOGRAMS" DETAIL.
- ON DOORWAYS LEADING TO UNISEX SANITARY FACILITIES, AN EQUILATERAL TRIANGLE MOUNTED ON A 12" DIAMETER CIRCLE SHALL BE PROVIDED, EACH 1/4" THICK, LOCATED AS NOTED IN NOTE #4 ABOVE. PROVIDE UNISEX PICTOGRAM AS NOTED IN NOTE #4 ABOVE.

**B. ENTRANCES**

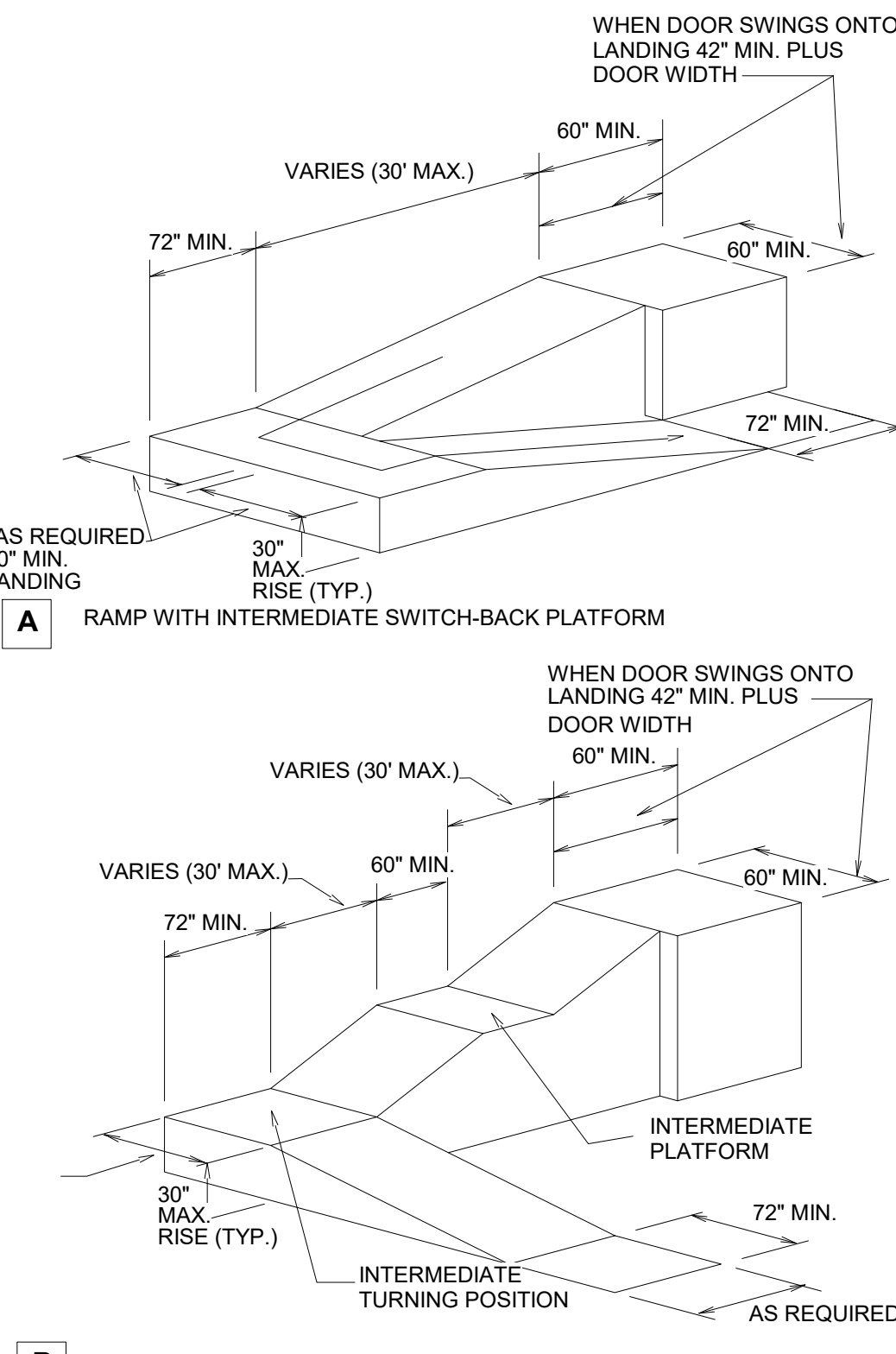
- AT LEAST ONE PRIMARY ENTRANCE (NOTE: SOME GOVERNING AGENCIES MAY DEFINE EXITS AS A BLDG. ENTRANCE) TO BUILDING AND FACILITIES SHALL BE MADE ACCESSIBLE TO THE PHYSICALLY DISABLED. QUANTITY OF ACCESSIBLE ENTRANCES, AT LEAST ONE, SHALL BE AS REQUIRED BY THE GOVERNING AGENCIES.
- ALL DISABLED ACCESSIBLE ENTRANCES SHALL BE IDENTIFIED WITH AT LEAST ONE STANDARD SIGN AND WITH ADDITIONAL DIRECTIONAL SIGNS VISIBLE FROM APPROACHING PEDESTRIAN WAYS.
- EVERY REQUIRED ENTRANCE, "EXIT" OR PASSAGE DOORWAY SHALL BE OF A SIZE AS TO PERMIT THE INSTALLATION OF A DOOR NOT LESS THAN 3 FEET IN WIDTH AND NOT LESS THAN 6 FEET, 8 INCHES IN HEIGHT. DOORS SHALL BE CENTERED AT LEAST 60 DEGREES AND SHALL BE SO MOUNTED THAT THE CLEAR WIDTH OF THE DOORWAY IS NOT LESS THAN 32 INCHES.
- WHERE A PAIR OF DOORS IS UTILIZED AT LEAST ONE OF THE DOORS SHALL PROVIDE A CLEAR UNOBSTRUCTED OPENING WIDTH OF 32 INCHES WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION.
- WHEN AN AUTOMATIC DOOR OPERATOR IS UTILIZED TO OPERATE A PAIR OF DOORS, AT LEAST ONE OF THE DOORS SHALL PROVIDE A CLEAR UNOBSTRUCTED OPENING WIDTH OF 32 INCHES WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION.

**E. SINGLE ACCOMMODATION TOILET FACILITIES (WHERE INDICATED)**

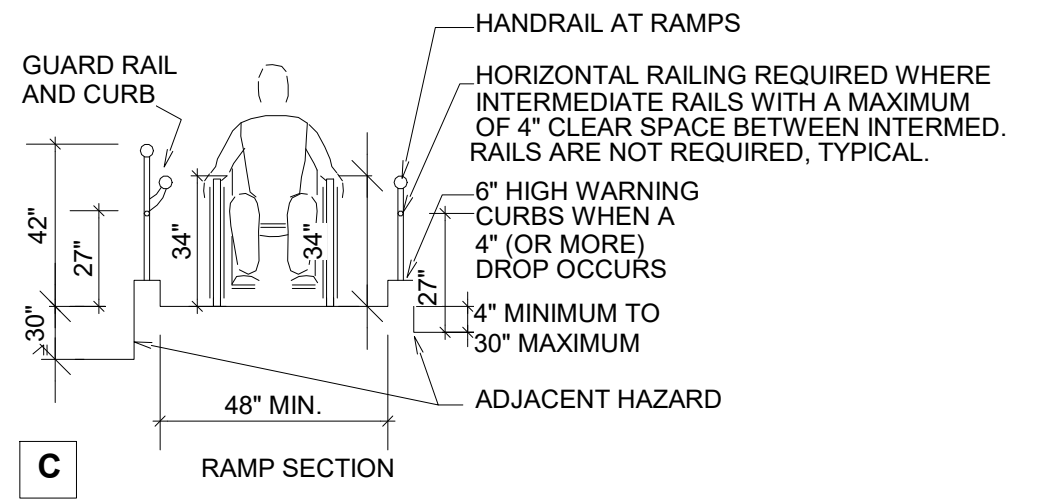
- THERE SHALL BE SUFFICIENT SPACE IN THE TOILET ROOM FOR A WHEELCHAIR MANEUVERING 30 INCHES LONG TO ENTER THE ROOM AND PERMIT THE DOOR TO CLOSE.
- THE WATER CLOSET SHALL BE LOCATED IN A SPACE WHICH PROVIDES A MIN. OF 28 INCH WIDE CLEAR SPACE BETWEEN THE WATER CLOSET'S FURTHEST MOST PROTRUDING EDGE AND AN ADJACENT FEATURE OR A 32 INCH WIDE CLEAR SPACE BETWEEN THE WATER CLOSET'S FURTHEST MOST PROTRUDING EDGE AND AN ADJACENT WALL ON ONE SIDE AND 48 INCHES OF CLEAR SPACE IN FRONT OF THE WATER CLOSET. IF THE COMPARTMENT HAS AN END OPENING DOOR (FACING THE WATER CLOSET), A 60 INCH MINIMUM LENGTH CLEAR SPACE SHALL BE PROVIDED IN AN ACCESSIBLE COMPARTMENT WHEN THE DOOR IS LOCATED AT THE SIDE OF THE TOILET STALL COMPARTMENT. GRAB BARS SHALL NOT PROJECT MORE THAN 3 INCHES INTO THE CLEAR SPACES AS SPECIFIED ABOVE.
- TURNAROUND CLEAR SPACE OF 60" DIAMETER SHALL BE PROVIDED WITHIN THE TOILET ROOM.
- PROVIDE IDENTIFICATION SYMBOLS ON DOOR AND WALL. SEE "SIGNS/PICTOGRAMS" DETAIL AND TYPICAL TYPICAL IMPROVEMENT DRAWINGS.

**J. CLEAR FLOOR OR GROUND SPACE FOR WHEELCHAIRS**

- THE MINIMUM CLEAR FLOOR OR GROUND SPACE REQUIRED TO ACCOMMODATE A SINGLE, STATIONARY WHEELCHAIR AND OCCUPANT IS 30 INCHES X 48 INCHES. THE MINIMUM CLEAR FLOOR OR GROUND SPACE FOR WHEELCHAIRS MAY BE POSITIONED FOR FORWARD OR PARALLEL APPROACH TO AN OBJECT, UNLESS NOTED OTHERWISE. CLEAR FLOOR OR GROUND SPACE FOR WHEELCHAIRS MAY BE PART OF THE KNEE SPACE REQUIRED UNDER SOME OBJECTS.
- ONE FULL UNOBSTRUCTED SIDE OF THE CLEAR FLOOR OR GROUND SPACE FOR A WHEELCHAIR SHALL ADJOIN OR OVERLAP AN ACCESSIBLE ROUTE OR ADJOIN ANOTHER WHEELCHAIR CLEAR FLOOR SPACE. IF A CLEAR FLOOR SPACE IS LOCATED IN AN ALCOVE OR OTHERWISE CONFINED ON ALL OR PART OF THREE SIDES, ADDITIONAL MANEUVERING CLEARANCES SHALL BE PROVIDED.
- PROVIDE AN ADDITIONAL 12 INCH WIDTH ON ONE SIDE FOR ALCOVES GREATER THAN 15 INCHES DEEP AND DESIGNED FOR FRONTAL APPROACH EXCEPT AT DRINKING FOUNTAINS WHICH MAY BE A MAXIMUM OF 24" DEEP BEFORE REQUIRING THE ADDITIONAL 12" CLEAR WIDTH.
- PROVIDE AN ADDITIONAL 12 INCHES WIDTH ON ONE SIDE FOR ALCOVES GREATER THAN 24 INCHES DEEP AND DESIGNED FOR FRONTAL APPROACH.
- IF THE CLEAR FLOOR SPACE ONLY ALLOWS FORWARD APPROACH TO AN OBJECT, THE MINIMUM HIGH FORWARD REACH ALLOWED SHALL BE 48 INCHES AND THE LOW SIDE REACH SHALL BE NO LESS THAN 15 INCHES ABOVE THE FLOOR. IF THE HORIZONTAL DIMENSION OF THE OBSTRUCTION SHALL BE LESS THAN 26 INCHES, THE MAXIMUM HIGH FORWARD REACH ALLOWED SHALL THEN BE 44 INCHES WHEN THE HORIZONTAL DIMENSION OF THE OBSTRUCTION IS BETWEEN 20 INCHES AND 26 INCHES.
- IF THE CLEAR FLOOR SPACE ALLOWS PARALLEL APPROACH BY A PERSON IN A WHEELCHAIR, THE MAXIMUM HIGH SIDE REACH ALLOWED SHALL BE 54 INCHES AND THE LOW SIDE REACH SHALL BE NO LESS THAN 9 INCHES ABOVE THE FLOOR. IF IS ALLOWED OVER AN OBSTRUCTION PROVIDED THE HORIZONTAL DIMENSION OF THE OBSTRUCTION DOES NOT EXCEED 18 INCHES AND MAXIMUM HIGH REACH OVER A 24 INCH OBSTRUCTION SHALL THEN BE 46 INCHES.



**RAMP DETAILS & NOTES**



**L. ALARMS**

- VISUAL ALARMS. VISUAL ALARM SIGNAL APPLIANCES SHALL BE INTEGRATED INTO THE BUILDING OR FACILITY ALARM SYSTEM. SINGLE STATION VISUAL ALARMS ARE PROVIDED THEN SINGLE STATION VISUAL ALARM SIGNALS SHALL BE PROVIDED. VISUAL ALARM PHOTOMETRIC AND LOCATION FEATURES:
  - THE LAMP SHALL BE A XENON STROBE TYPE OR EQUIVALENT.
  - THE COLOR SHALL BE CLEAR OR NOMINAL WHITE (I.E., UNFILTERED OR CLEAR FILTERED WHITE LIGHT).
  - THE MAXIMUM PULSE DURATION SHALL BE TWO-TENTHS OF ONE SECOND (0.2 SEC) WITH A MAXIMUM DUTY CYCLE OF 40 PERCENT. THE PULSE DURATION IS DEFINED AS THE TIME INTERVAL BETWEEN INITIAL AND FINAL POINTS OF 10 PERCENT OF MAXIMUM SIGNAL.
  - THE INTENSITY SHALL BE A MINIMUM OF 75 CANDELA.
  - THE FLASH RATE SHALL BE A MINIMUM OF 1 HS AND A MAXIMUM OF 3 HS.
  - THE APPLIANCE SHALL BE PLACED 80 IN (2030 MM) ABOVE THE HIGHEST FLOOR LEVEL WITHIN THE SPACE OR 6 IN (152 MM) BELOW THE CEILING, WHICHEVER IS LOWER.
  - IN GENERAL, NO PLACE IN ANY ROOM OR SPACE REQUIRED TO HAVE A VISUAL SIGNAL APPLIANCE SHALL BE MORE THAN 50 FT (15M) FROM THE SIGNAL, IN THE HORIZONTAL PLANE, IN LARGE ROOMS AND SPACES EXCEEDING 100 FT (30M) ACROSS.
  - WITHOUT OBSTRUCTIONS 5 FT (15M) ABOVE THE FINISH FLOOR, SUCH AS AUDITORIUMS, DEVICES MAY BE PLACED AROUND THE PERIMETER, SPACED A MAXIMUM 100 FT (30M) APART IN LIEU OF SUSPENDING APPLIANCES FROM THE CEILING.
  - NO PLACE IN COMMON CORRIDORS OR HALLWAYS IN WHICH VISUAL ALARM SIGNALING APPLIANCES ARE REQUIRED SHALL BE MORE THAN 50 FT (15M) FROM THE SIGNAL.

**LETTERS AND NUMBERS:**

- WIDTH TO HEIGHT RATIO BETWEEN 3 : 5 AND 1 : 1.
- STROKE WIDTH TO HEIGHT BETWEEN 1 : 5 AND 1 : 10.
- CONTRAST CHARACTERS AND SYMBOLS WITH BACKGROUND.
- SANS SERIF CHARACTERS.

**SIGNS / PICTOGRAMS:**

- PICTOGRAMS / PICTORIAL SYMBOL SIGNS SHALL BE ACCOMPANIED BY THE EQUIVALENT VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM. THE BORDER DIMENSION SHALL BE 6" MINIMUM HEIGHT.
- CHARACTERS AND BACKGROUNDS SHALL BE OF NON-GLARE CONTRASTING COLORS.
- SIGNS / PICTOGRAMS SHALL BE INSTALLED ON THE WALL ADJACENT TO DOOR LEADING TO THE ROOM OR SPACE THEY DESCRIBE AND AT 60" A.F.F. TO SIGN CENTERLINE AND WHERE A PERSON MAY APPROACH WITHIN 3" OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE DOOR SWING AREA.
- VERTICAL CLEARANCE AT SUSPENDING SIGNS WITH MINIMUM HEADROOM OF 80" REQUIRE MINIMUM 3" CHARACTER HEIGHT MEASURED BY USING UPPERCASE "X". CHARACTERS AND NUMBERS SHALL BE SIZED ACCORDING TO VIEWING DISTANCE FROM WHICH READ. LOWER CASE CHARACTERS PERMITTED.

**SIGN LOCATIONS:**

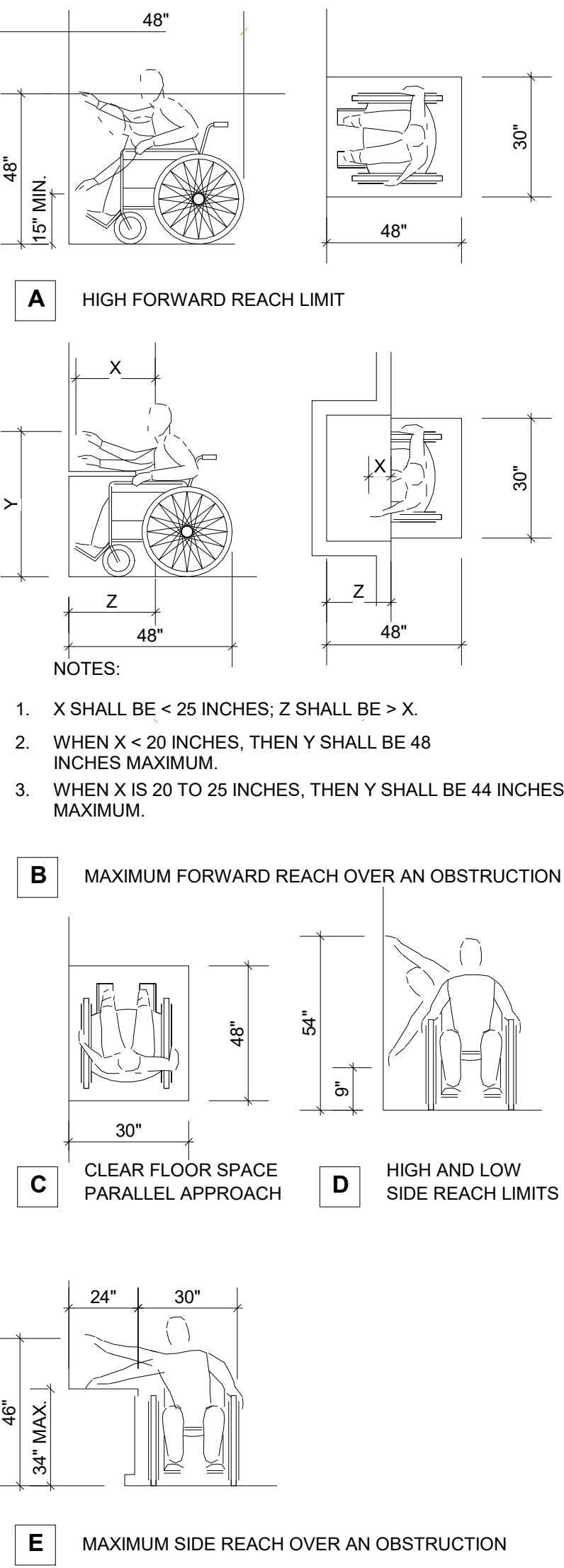
- ALL ACCESSIBLE ENTRANCES IDENTIFIED WITH MINIMUM OF ONE STANDARD SIGN.
- ADDITIONAL DIRECTIONAL SIGNS ALONG ACCESSIBLE PATH OF TRAVEL ARE REQUIRED.
- BUILDINGS REMODELED TO PROVIDE ACCESSIBLE SANITARY FACILITIES FOR PUBLIC USE SHALL HAVE INFORMATION POSTED IN THE LOBBY AS PART OF THE BUILDING DIRECTORY.

**INTERNATIONAL SYMBOL OF ACCESSIBILITY:**

- STANDARD USED TO IDENTIFY ACCESSIBLE FACILITIES.
- CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.
- WHEN ENFORCING AGENCY DETERMINES, IF APPROPRIATE, SPECIAL DESIGNS AND COLORS MAY BE APPROVED.

**BRAILLE:**

- USE CONTRASTED GRADE 2 BRAILLE. DOTS TO BE 0.1 INCH ON CENTER IN EACH CELL.
- 0.2 INCH SPACE BETWEEN CELLS.
- DOTS RAISED MINIMUM 0.025 INCH ABOVE BACKGROUND.

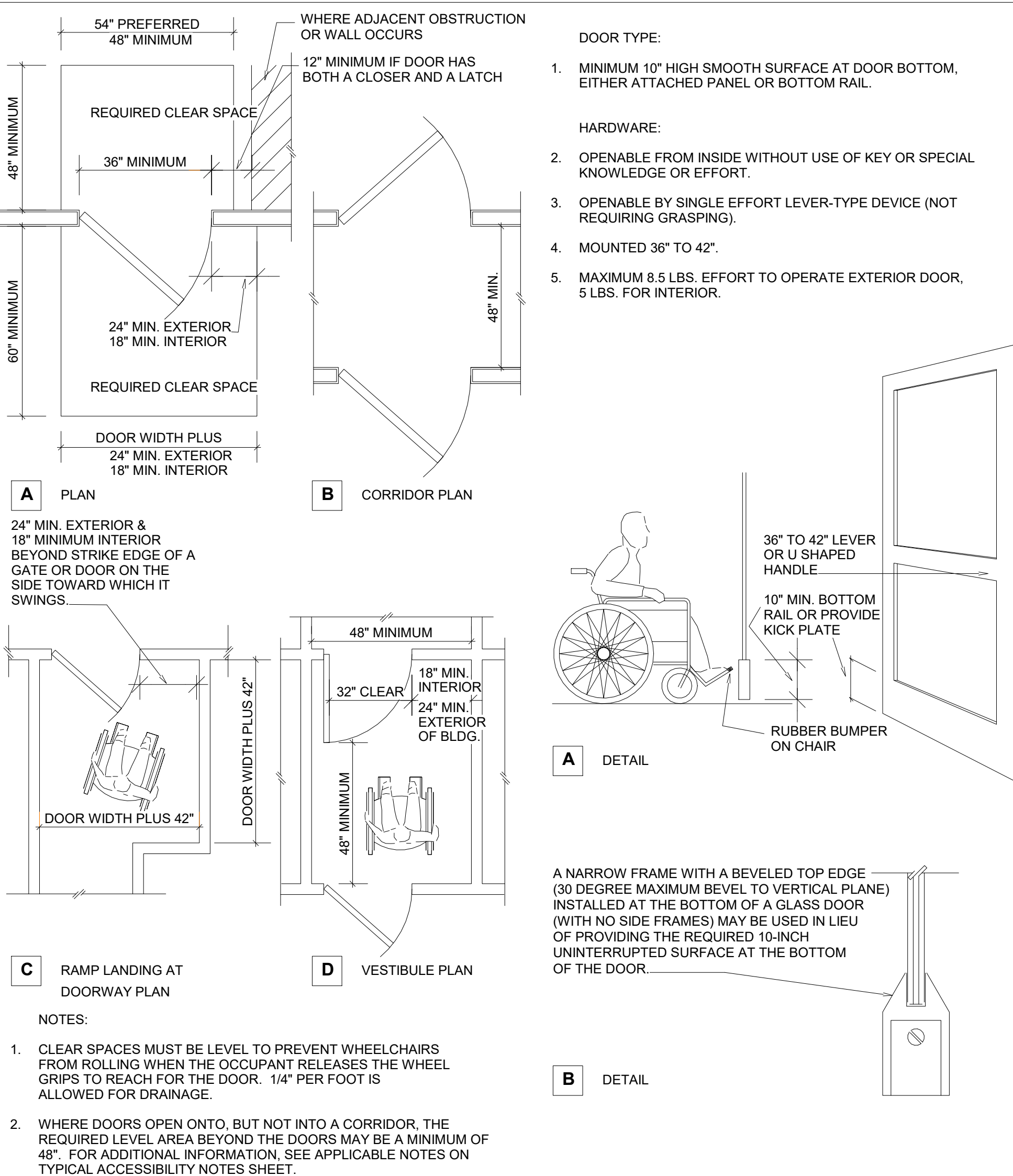


**REACH REQUIREMENTS**

- NOTES:
- 1/2" MAXIMUM TOTAL HEIGHT WITH 1/4" MAXIMUM VERTICAL CHANGE AT EDGE.
  - 2 SLOPED BEVEL REQUIRED IF LEVEL CHANGE IS OVER 1/4" VERTICAL LEVEL CHANGE.
  - 1/4" MAXIMUM VERTICAL LEVEL CHANGE.

**THRESHOLDS / LEVEL CHANGES**

- LETTERS AND NUMBERS:**
- WIDTH TO HEIGHT RATIO BETWEEN 3 : 5 AND 1 : 1.
  - STROKE WIDTH TO HEIGHT BETWEEN 1 : 5 AND 1 : 10.
  - CONTRAST CHARACTERS AND SYMBOLS WITH BACKGROUND.
  - SANS SERIF CHARACTERS.
- SIGNS / PICTOGRAMS:**
- PICTOGRAMS / PICTORIAL SYMBOL SIGNS SHALL BE ACCOMPANIED BY THE EQUIVALENT VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM. THE BORDER DIMENSION SHALL BE 6" MINIMUM HEIGHT.
  - CHARACTERS AND BACKGROUNDS SHALL BE OF NON-GLARE CONTRASTING COLORS.
  - SIGNS / PICTOGRAMS SHALL BE INSTALLED ON THE WALL ADJACENT TO DOOR LEADING TO THE ROOM OR SPACE THEY DESCRIBE AND AT 60" A.F.F. TO SIGN CENTERLINE AND WHERE A PERSON MAY APPROACH WITHIN 3" OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE DOOR SWING AREA.
  - VERTICAL CLEARANCE AT SUSPENDING SIGNS WITH MINIMUM HEADROOM OF 80" REQUIRE MINIMUM 3" CHARACTER HEIGHT MEASURED BY USING UPPERCASE "X". CHARACTERS AND NUMBERS SHALL BE SIZED ACCORDING TO VIEWING DISTANCE FROM WHICH READ. LOWER CASE CHARACTERS PERMITTED.
- SIGN LOCATIONS:**
- ALL ACCESSIBLE ENTRANCES IDENTIFIED WITH MINIMUM OF ONE STANDARD SIGN.
  - ADDITIONAL DIRECTIONAL SIGNS ALONG ACCESSIBLE PATH OF TRAVEL ARE REQUIRED.
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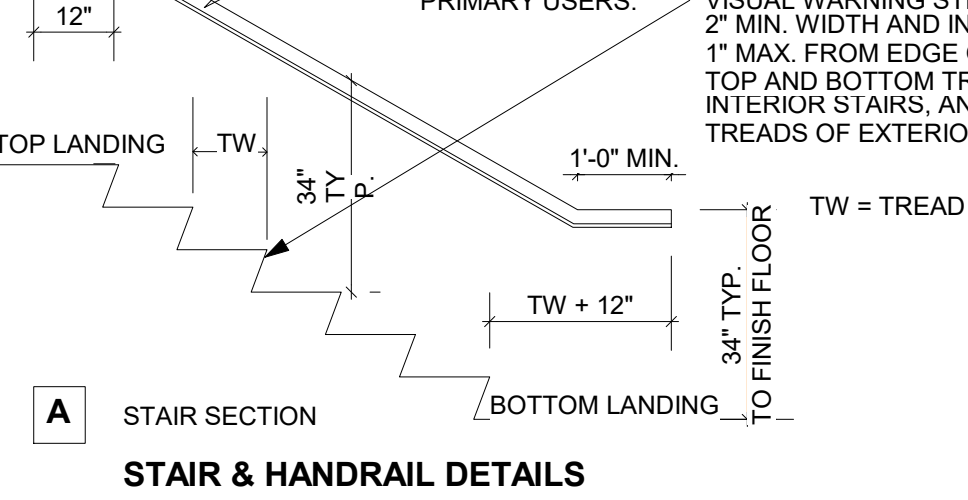
**DOOR CLEARSPACE**

- CLEAR SPACES MUST BE LEVEL TO PREVENT WHEELCHAIRS FROM ROLLING WHEN THE OCCUPANT RELEASES THE WHEEL GRIPS TO REACH FOR THE DOOR. 1/4" PER FOOT IS ALLOWED FOR DRAINAGE.
- WHERE DOORS OPEN ONTO, BUT NOT INTO A CORRIDOR, THE REQUIRED LEVEL AREA BEYOND THE DOORS MAY BE A MINIMUM OF 48". FOR ADDITIONAL INFORMATION, SEE APPLICABLE NOTES ON TYPICAL ACCESSIBILITY NOTES SHEET.

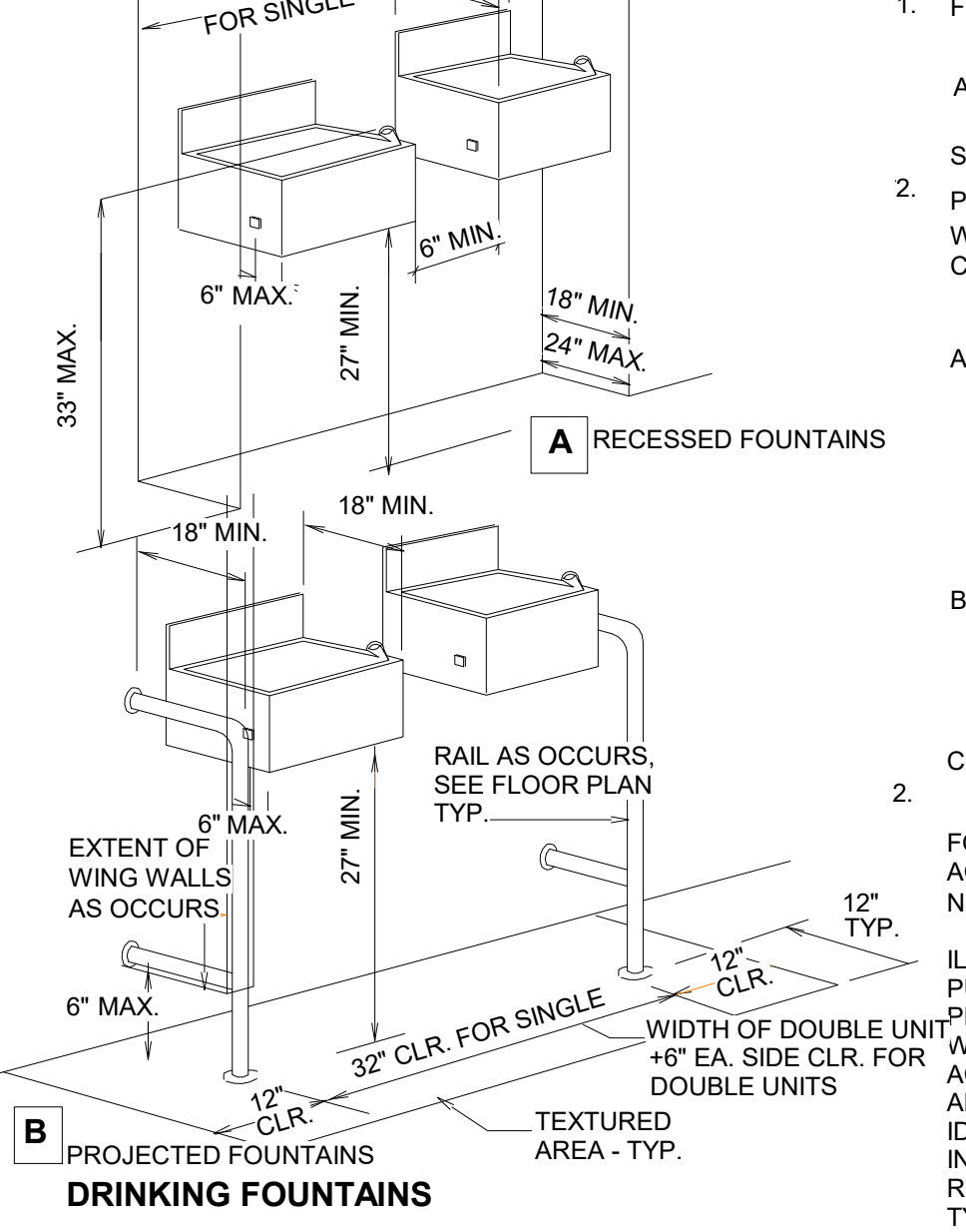
**DOORS**

- A NARROW FRAME WITH A BEVELED TOP EDGE (30 DEGREE MAXIMUM BEVEL TO VERTICAL PLANE) INSTALLED AT THE BOTTOM OF A GLASS DOOR (WITH NO SIDE FRAMES) MAY BE USED IN LIEU OF PROVIDING THE REQUIRED 10-INCH UNINTERRUPTED SURFACE AT THE BOTTOM OF THE DOOR.

**STAIR & HANDRAIL DETAILS**



**DRINKING FOUNTAINS**



**RECESSED FOUNTAINS:**

- WITHIN ALCOVES MINIMUM 18" DEEP AND CLR. WHEN A SINGLE FOUNTAIN IS PERMITTED.
  - CONTRACTOR SHALL COORDINATE WITH SIZE OF WATER FOUNTAIN TO BE USED AND SIZE ABOVE ACCORDINGLY COMPLYING WITH REQUIREMENTS AND RECOMMENDATIONS AND COORDINATING WITH THE ARCHITECT. SEE TYPICAL ACCESSIBILITY NOTES SHEET SECTIONS "R" & "U".
- PROJECTED FOUNTAINS WARNING FOR THE VISION IMPAIRED AT A PROJECTED DRINKING FOUNTAIN CAN BE PROVIDED BY EITHER OF THE FOLLOWING MEANS:
  - THE SURFACE OF THE FLOOR OR GROUND AT THE DRINKING FOUNTAIN CAN BE OF CONTRASTING COLOR WITH A TEXTURE THAT CONTRASTS IN RESILIENCY WITH THE ADJACENT FINISHED FLOOR MATERIAL, SO THAT IT CAN BE SENSED BY A CANE, WITH THE TEXTURE EXTENDING FROM THE WALL TO ONE FOOT BEYOND THE FRONT EDGE OF THE DRINKING FOUNTAIN AND ONE FOOT BEYOND EACH SIDE OF THE FOUNTAIN, OR
  - INSTALL WING WALLS ON EACH SIDE OF THE DRINKING FOUNTAIN TO PROJECT OUT FROM THE MAIN WALL AT LEAST AS FAR AS THE DRINKING FOUNTAIN AND TO WITHIN 6" OF THE PATH OF TRAVEL FLOOR FINISH. THERE MUST BE 32" CLEAR BETWEEN THE WING WALLS, OR
  - GUARDRAILS SHALL BE A MINIMUM OF 32" CLEAR BETWEEN AND PROJECT FROM THE SUPPORT WALL TO THE PROJECTING FACE OF THE FOUNTAIN AND WITHIN 6" OF THE FINISH SURFACE OF THE PATH OF TRAVEL.

**PROJECTED FOUNTAINS**

- NOTE:
- ILLUSTRATIONS SHOWN HERE ARE FOR DIMENSIONAL ACCESSIBILITY PURPOSES ONLY. A SECOND DRINKING FOUNTAIN SHOULD BE PROVIDED AT A MOUNTING HEIGHT SUITABLE TO PERSONS WITH LIMITED PHYSICAL BENDING ABILITY, ADJACENT TO THE ACCESSIBLE FOUNTAIN, MAINTAINING MINIMUM CLEARANCES NOTED AND AS REQUIRED. PROVIDE TEXTURED AREA OF CONTRASTING COLOR TO AND AS REQUIRED. PROVIDE TEXTURED AREA OF CONTRASTING COLOR TO AND AS REQUIRED. PROVIDE TEXTURED AREA SHOWN IS AT AN INTERIOR LOCATION, THE TEXTURED AREA SHALL ALSO BE OF DIFFERENT RESILIENCY THAN THAT OF THE ADJACENT FLOOR SURFACE FINISH. SEE TYPICAL ACCESSIBILITY NOTES SHEET FOR ADDITIONAL REQUIREMENTS.

Architect:

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 Seagrove, NC 27341

Stamp:

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NO.	REASON	DATE

Principal in Charge:  
 D. WALKER

Project Address:  
**LUCK'S CANNERY - LOWER BLDG. RENNOVATION - PHASE IA**

798 NC Hwy. 705 Seagrove, NC 27341

Project Number:  
 201901.1

Sheet Title:  
**TYPICAL ACCESSIBILITY DETAILS**

Sheet Number:  
**CS200**

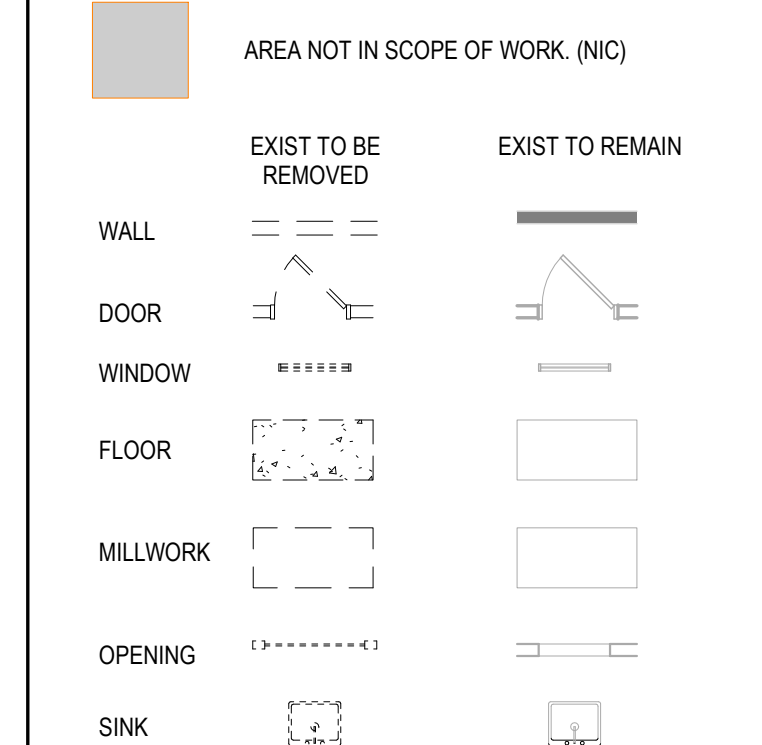


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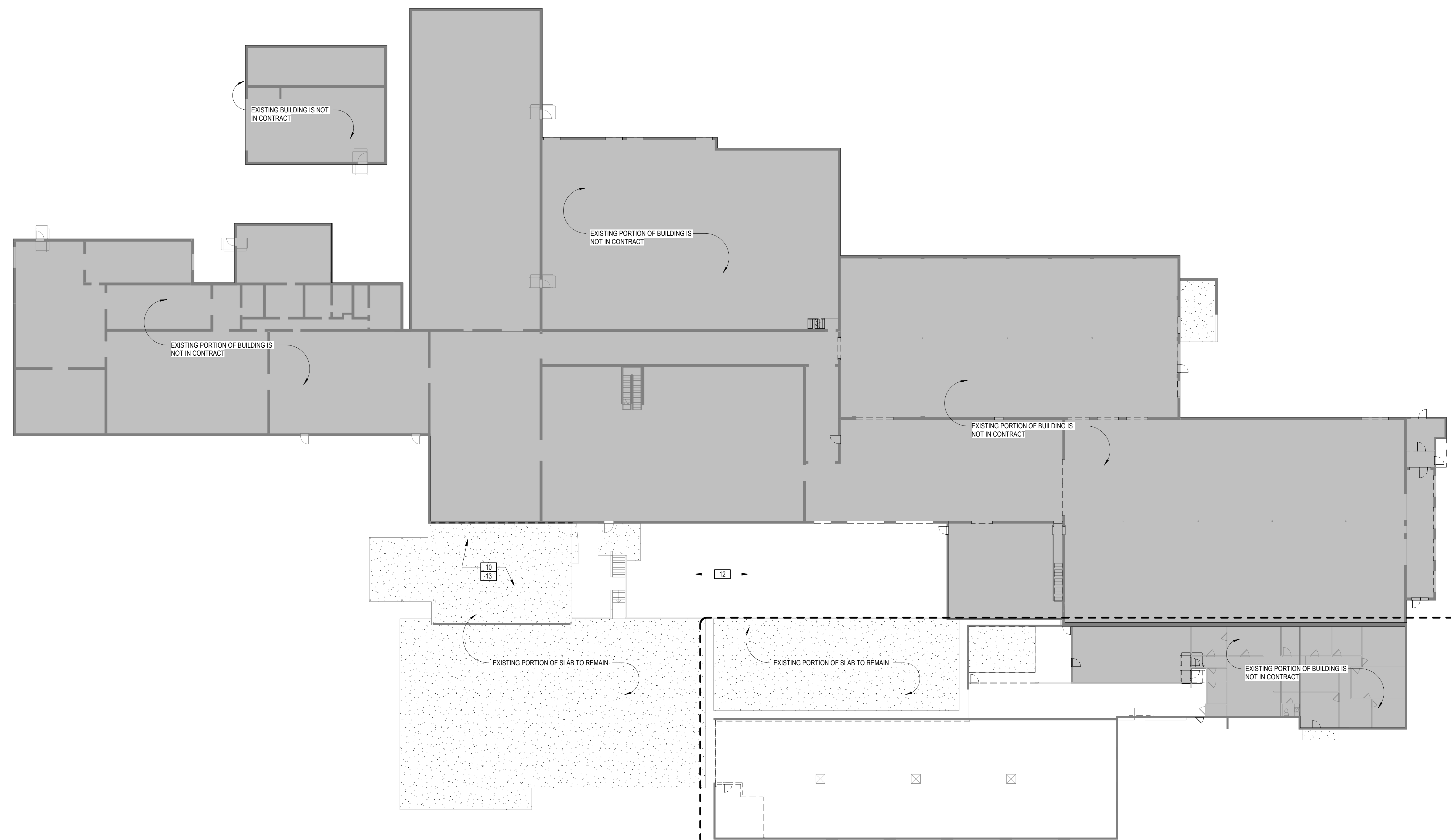
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**DEMOLITION LEGEND**



**DEMOLITION KEY NOTES:**

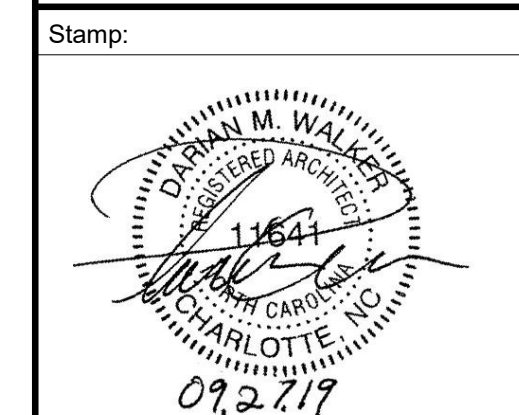
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**LUCK'S CANNERY REDEVELOPMENT -PHASE I-**  
 Seagrove, NC 27341



Issue For:  
**CONSTRUCTION**  
 Issue Date:  
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 Project Address:  
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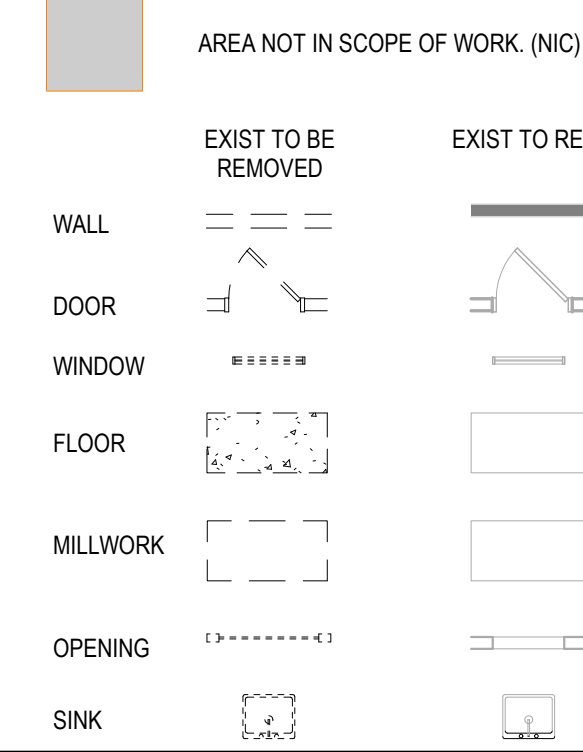
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**OVERALL BUILDING DEMOLITION PLAN**  
 Sheet Number:

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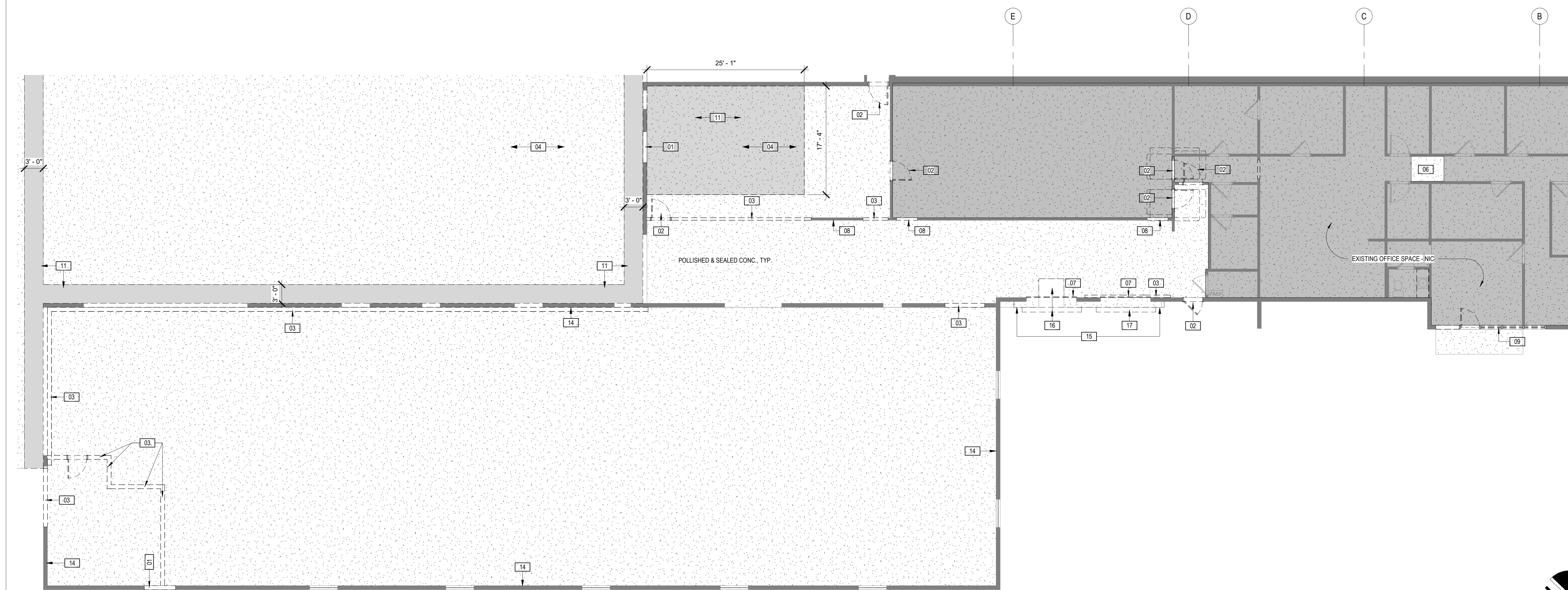
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 Sheet Title:  
**TOWN HALL DEMOLITION PLAN**

Sheet Number:  
 D101A

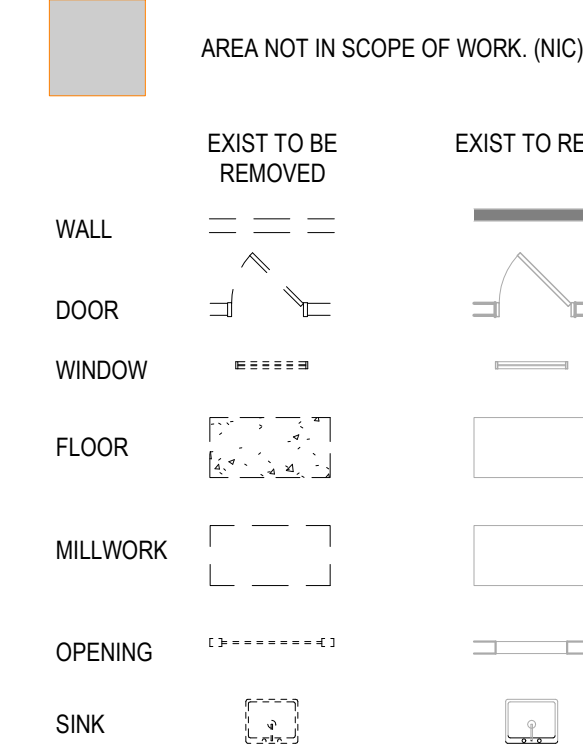


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6. CONTRACTOR SHALL PROVIDE AND MAINTAIN PROTECTION FOR PERSONS, ADJACENT AREA, FINISHES, FIXTURES, FURNISHINGS, FURNITURE AND EQUIPMENT DURING DEMOLITION / CONSTRUCTION. (NOTE APPLIES TO SENIOR CENTER AREA AND TOWN HALL ONLY)
7. CONTRACTOR SHALL COORDINATE DEMOLITION AND REMOVALS WITH BUILDING MANAGEMENT (SEAGROVE TOWN HALL) AND SHALL NOT DISRUPT ELECTRICAL, HVAC, PLUMBING, AUDIO/VISUAL, TELEPHONE, FIRE PROTECTION, COMPUTER, EQUIPMENT SIGNAL OR OTHER NORMAL FUNCTIONS OF BUILDING OCCUPANTS OR CAUSE EXCESSIVE NOISE. SHUTDOWNS OR TEMPORARY SERVICE CURTAILMENT SHALL REQUIRE WRITTEN AUTHORIZATION BY BUILDING MANAGEMENT (SEAGROVE TOWN HALL).
8. CUTTING, CHASING, DRIVING AND/OR OTHER NOISY DEMOLITION OF WALLS, SLABS, ETC., REQUIRING THE USE OF JACKHAMMERS OR OTHER HEAVY TOOLS SHALL NOT BE PERFORMED DURING TOWN HALL OR SENIOR CENTER MEETINGS. WORK SHALL BE SCHEDULED WITH THE BUILDING MANAGEMENT (SEAGROVE TOWN HALL).

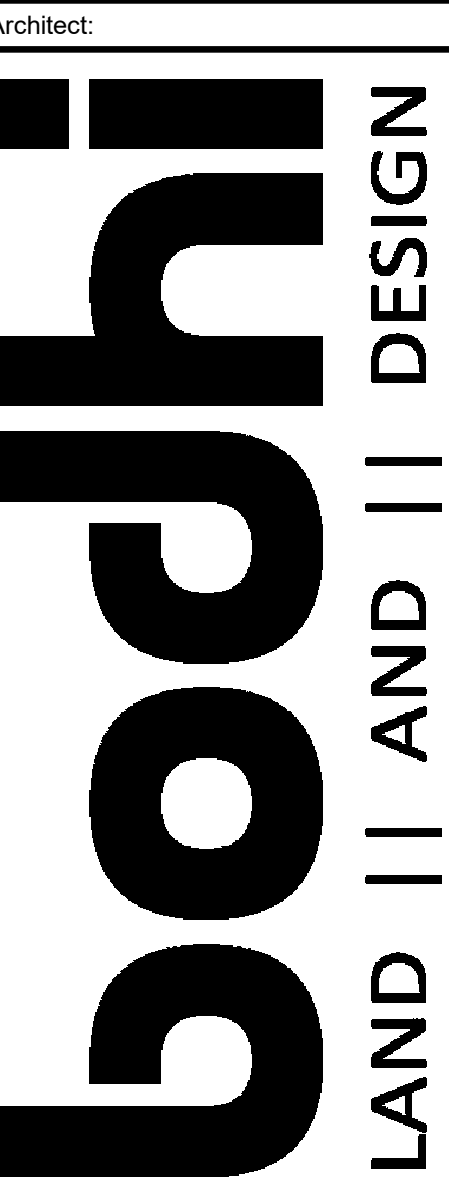
9. CONTRACTOR SHALL CAREFULLY REMOVE ITEMS NOTED TO BE SAVED FOR RELOCATION OR REUSE; PROVIDE FOR SAFE LOCKED STORAGE AND PROTECTION OF ITEMS AT SITE. CONTRACTOR SHALL TAKE PRECAUTIONS TO PRESERVE AND MAINTAIN EXISTING FINISH, OPERATIONAL CHARACTERISTICS AND APPEARANCE OF ITEMS. COORDINATE ON SITE STORAGE WITH TOWN OF SEAGROVE.
10. CONTRACTOR SHALL NOT MIX RUBBISH WITH THAT OF THE BUILDING 'OCCUPANTS', AND SHALL HAVE REMOVALS & DEBRIS CARTED FROM THE BUILDING PREMISES AND LEGALLY DISPOSED OF.
11. CONTRACTOR SHALL IMMEDIATELY CLEAN, REMOVE, AND LEGALLY DISPOSE OF DEBRIS AFTER MAJOR DEMOLITION OPERATION BEFORE COMMENCEMENT OF THE NEXT NORMAL WORKING DAY IN AREAS THAT ARE CURRENTLY UNDER OPERATION.
12. CONTRACTOR SHALL INSPECT, TEST AND DISCONNECT UTILITY SERVICES AT MAIN SOURCE OR MAIN BRANCH WITHOUT DISRUPTING UTILITY SERVICES FOR OTHER BUILDING TENANTS AND UTILITY SERVICES TO REMAIN. CONTRACTOR SHALL SECURELY CAP AND/OR VALVE-OFF UTILITY SERVICE BEHIND FINAL FINISHED SURFACES OF INTENDED CONSTRUCTION OR, ONLY WHEN NOTED, AT FINISHED FACE PRIOR TO DEMOLITION OPERATIONS.
13. DEMOLITION AND REMOVAL OPERATIONS SHALL NOT UNDERMINE THE STRUCTURAL INTEGRITY OF THE BUILDING. PROVIDE TEMPORARY OR PERMANENT BRACING OR SHORING. ASSUME LIABILITY FOR SAFETY AND SUPPORT OF STRUCTURE. CEASE OPERATIONS IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. NOTIFY ARCHITECT AND BUILDING OWNER.
14. CONTRACTOR SHALL COORDINATE HOURS OF WORK WITH BUILDING MANAGEMENT AND MAKE SURE EXISTING TENANTS ARE NOT DISTURBED.
15. CONTRACTOR SHALL PROTECT AREAS BELOW FROM FALLING DEBRIS AND PROVIDE DUST AND DEBRIS PROTECTION FROM AREAS N.I.C. TO ISOLATE WORK AREAS FROM TOWN HALL AND SENIOR CENTER.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR ERECTING CONSTRUCTION FENCING TO ISOLATE AND PROTECT PUBLIC FROM DEMOLITION AREAS

**DEMOLITION LEGEND**



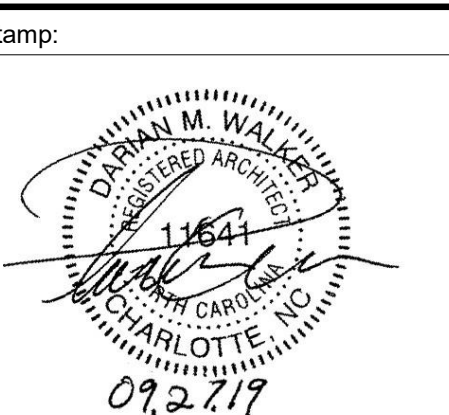
**DEMOLITION KEY NOTES:**

- 01 REMOVE EXISTING EQUIPMENT AND FRAMING IN EXISTING CMU WALL AND FILL WITH CMU TO MATCH EXISTING WALL CONSTRUCTION AND FINISH
- 02 REMOVE EXISTING DOOR AND/OR CASED OPENING AND FILL WITH SIMILAR CONSTRUCTION TO MATCH EXISTING WALL CONSTRUCTION AND FINISH (VERIFY WITH NEW CONSTRUCTION)
- 03 PORTION OF WALL TO THE BE REMOVED. -SEE NEW CONSTRUCTION PLAN DRAWINGS
- 04 EXISTING FLOOR FLOOR FINISH. CLEAN, PREP AND PATCH AND REPAIRS AS REQUIRED TO RECIEVE NEW FINISH
- 05 REMOVE EXISTING DOOR AND STORE FOR REUSE AND RELOCATION. FILL VOID WITH SIMILAR CONSTRUCTION TO MATCH EXISTING WALL CONSTRUCTION AND FINISH
- 06 CAREFULLY PULL EXISTING CARPET BACK AND SAVE FOR REUSE TO COVER NEW SURFACE
- 07 REMOVE EXISTING GARAGE DOOR AND PREP OPENING FOR NEW CONSTRUCTION
- 08 NEW OPENING FOR NEW DOOR -SEE NEW CONSTRUCTION DRAWINGS
- 09 REMOVE EXISTING STOREFRONT & PREP OPENING FOR NEW CONSTRUCTION - SEE NEW CONSTRUCTION PLANS
- 10 EXISTING INDUSTRIAL EQUIPMENT AND STEEL PLATFORM FRAMING TO BE REMOVED. RETORT TANKS TO REMIAN IN PLACE BUT CUT ALL PIPES AND REMOVE. RETORTS IN THE END SHOULD BE FREE STANDING AND READY TO BE RELOCATED. CUT ALL LINES AND CAP BELOW CONCRETE.
- 11 REMOVE EXISTING PORTION OF CONCRETE AND SOIL FOR NEW FRENCH DRAIN AND/OR PLUMBING AS REQUIRED FOR NEW CONSTRUCTION
- 12 REMOVE ALL EXISTING EQUIPMENT, PLATFORMS, AND SUPPORTS STRUCTURES THAT ARE NO LONGER IN USE AND NOT PART OF NEW CONSTRUCTION.
- 13 REMOVE EXISTING CEILING, ELECTRICAL, MECHANICAL, AND PLUMBING THAT ARE NOT PART OF NEW DESIGN. COORDINATE WITH NEW CONSTRUCTION DRAWINGS. STORE ANY WOOD CEILING TO BE REMOVED FOR REUSE IN NEW CONSTRUCTION.
- 14 SCRAP WALLS AND TREAT ALL EFFLORESCENCE. REMOVE ANY EXISTING NAILS OR BLEMISHES. FILL ANY VOIDS AND PREP SURFACE TO RECIEVE NEW FINISH.
- 15 REMOVE EXTERIOR PANTED PLYWOOD WALLS
- 16 REMOVE EXISTING DOCK LEVELER EQUIPMENT AND EXTERIOR BUMPER GAURDS.
- 17 RELOCATE EXTERIOR BUMPER GAURDS TO ADJACENT GARAGE DOOR.



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**LUCK'S CANNERY REDEVELOPMENT -PHASE I-**  
 Seagrove, NC 27341



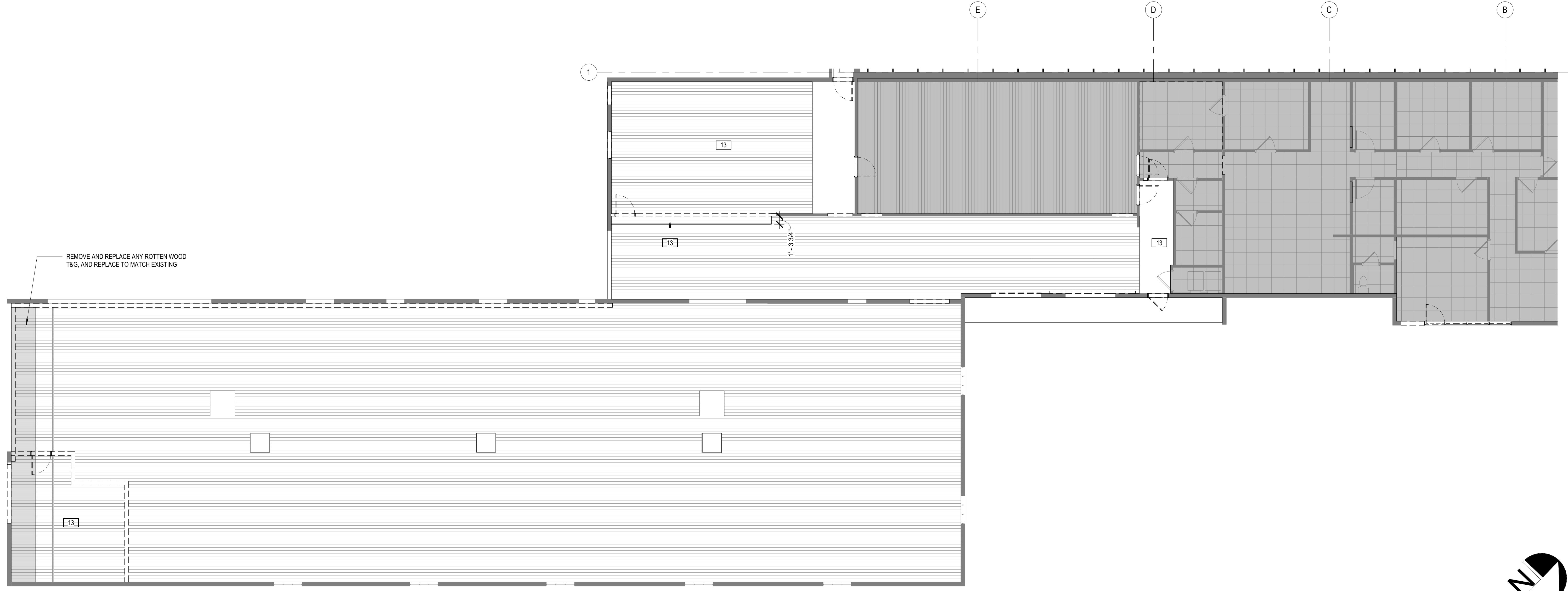
Issue For:  
**CONSTRUCTION**  
 Issue Date:  
 09.27.2019

REVISIONS		
NO.	REASON	DATE

PRINCIPAL IN CHARGE:  
 D. WALKER  
 Project Address:  
**LUCK'S CANNERY - LOWER BLDG. RENNOVATION - PHASE IA**  
 798 NC Hwy. 705 Seagrove, NC 27341

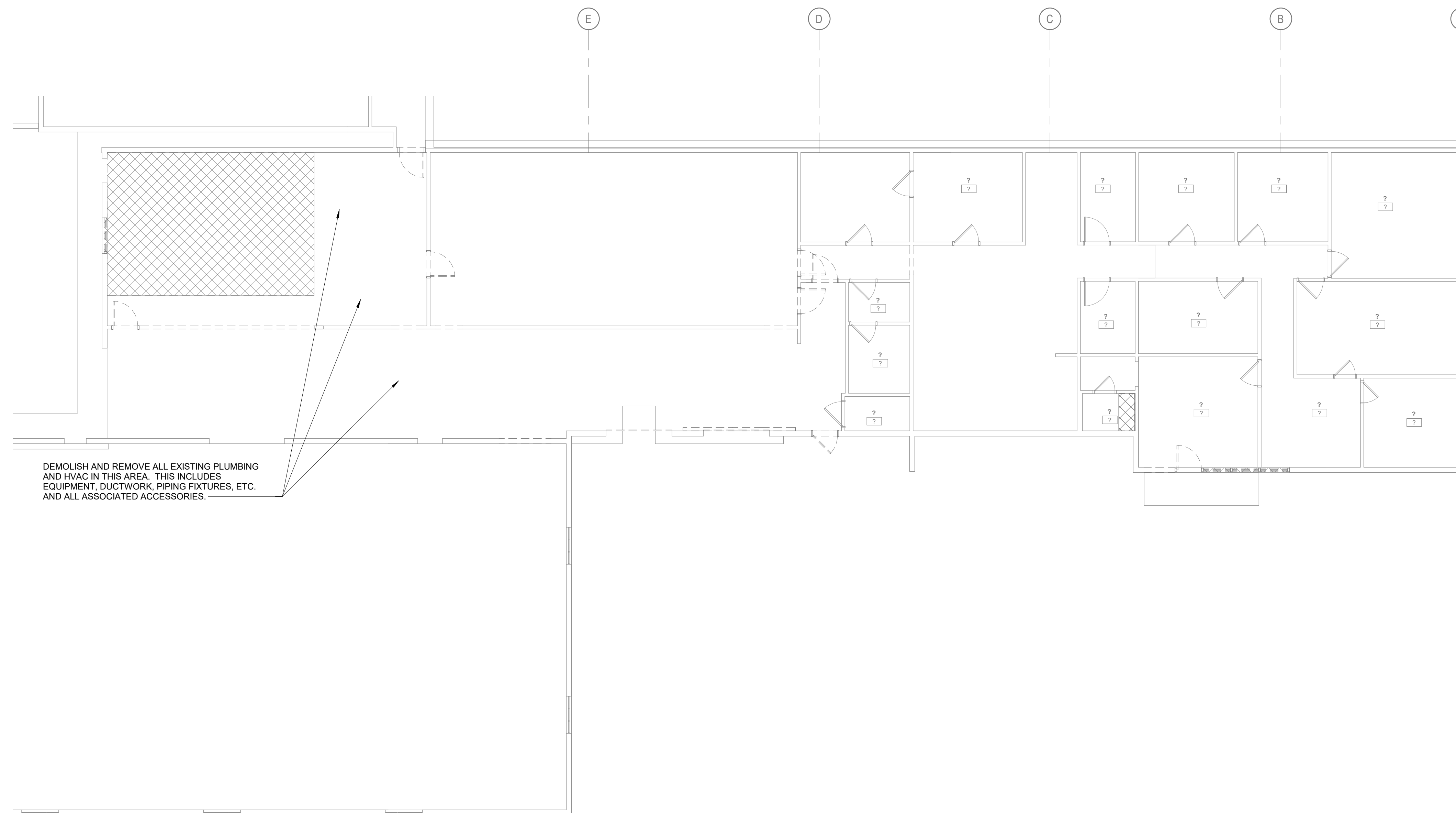
Project Number:  
 201901.1  
 Sheet Title:  
**TOWN HALL DEMOLITION RCP**

Sheet Number:  
**D102A**



**MECHANICAL DEMOLITION NOTES**

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPLACE ANY ITEM OR EQUIPMENT DAMAGED DURING DEMOLITION. ANY ITEM OR EQUIPMENT THAT IS REMOVED TO FACILITATE THE DEMOLITION SHALL BE REINSTALLED BACK TO ITS ORIGINAL CONDITION. PATCH ALL OPENINGS IN FLOOR, CEILINGS, AND WALLS MADE IN ADJACENT AREAS THAT ARE NOT BEING DEMOLISHED.
2. REMOVE ALL HANGERS, SUPPORTS, AND ACCESSORIES ASSOCIATED WITH ITEMS OR EQUIPMENT BEING DEMOLISHED.
3. EXISTING SERVICES ARE BASED ON LIMITED FIELD WORK. CONTRACTOR SHALL VERIFY EXISTING SERVICES PRIOR TO BEGINNING WORK.
4. CONTRACTOR SHALL COORDINATE WITH OWNER TO SCHEDULE ANY UTILITY SHUTDOWNS. PROVIDE TEMPORARY CONNECTIONS AS REQUIRED TO MAINTAIN ALL NECESSARY SERVICES.
5. IF REQUIRED, CONTRACTOR SHALL COORDINATE WITH OWNER TO DETERMINE THE SALVAGE VALUE OF DEMOLISHED ITEMS. RECYCLABLE ITEMS WITHOUT SALVAGE VALUE SHALL BE PRESENTED TO RECYCLING FACILITY.

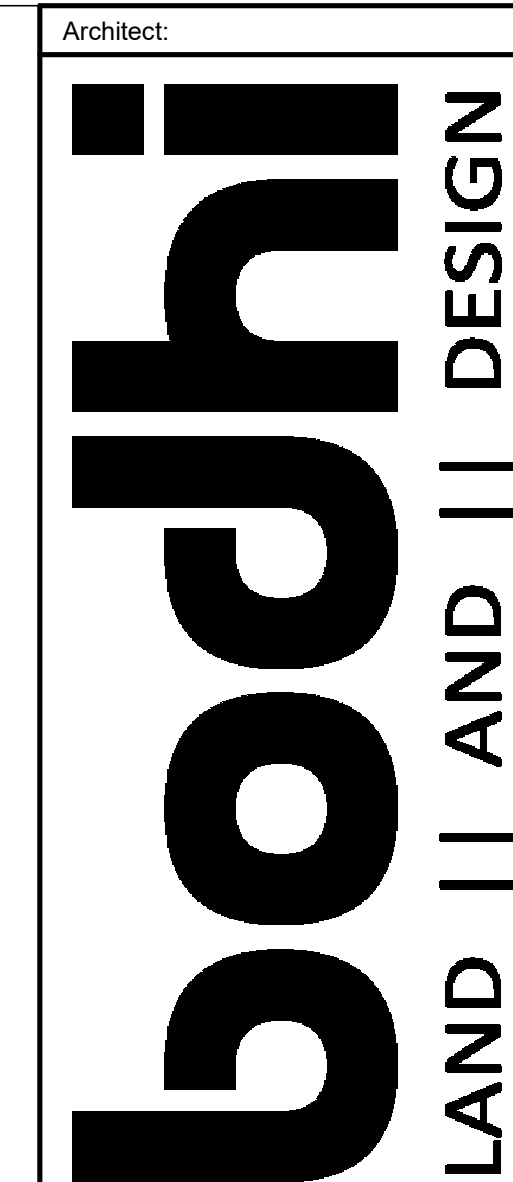


DEMOLISH AND REMOVE ALL EXISTING PLUMBING AND HVAC IN THIS AREA. THIS INCLUDES EQUIPMENT, DUCTWORK, PIPING FIXTURES, ETC. AND ALL ASSOCIATED ACCESSORIES.

**TOWNHALL FINISHED FLOOR - MECHANICAL PLAN - DEMO**  
 SCALE: 1/8" = 1'-0"



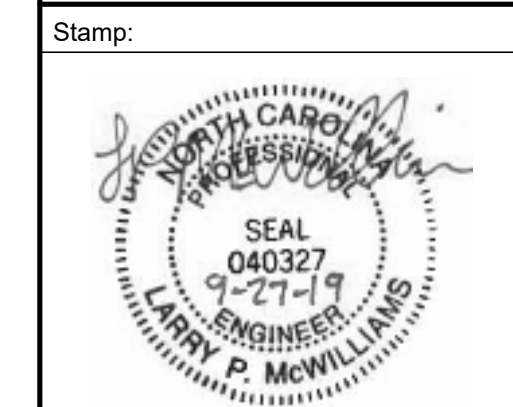
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**LUCK'S CANNERY  
 REDEVELOPMENT  
 -PHASE I-  
 Seagrove, NC 27341**



Issue For:  
**CONSTRUCTION**  
 Issue Date:  
**07.27.2019**

REVISIONS

NO.	REASON	DATE

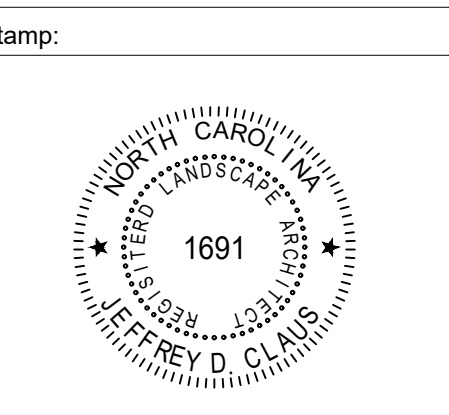
PRINCIPAL IN CHARGE:  
 D. WALKER

Project Address:  
**LUCK'S CANNERY - LOWER  
 BLDG. RENNOVATION -  
 PHASE IA**

Project Number:  
 201901.1

Sheet Title:  
**TOWNHALL  
 FLOOR PLAN -  
 DEMO -  
 MECHANICAL**

Sheet Number:  
**MD100**



Issue For:  
**CONSTRUCTION**  
 Issue Date:  
 04.01.2019

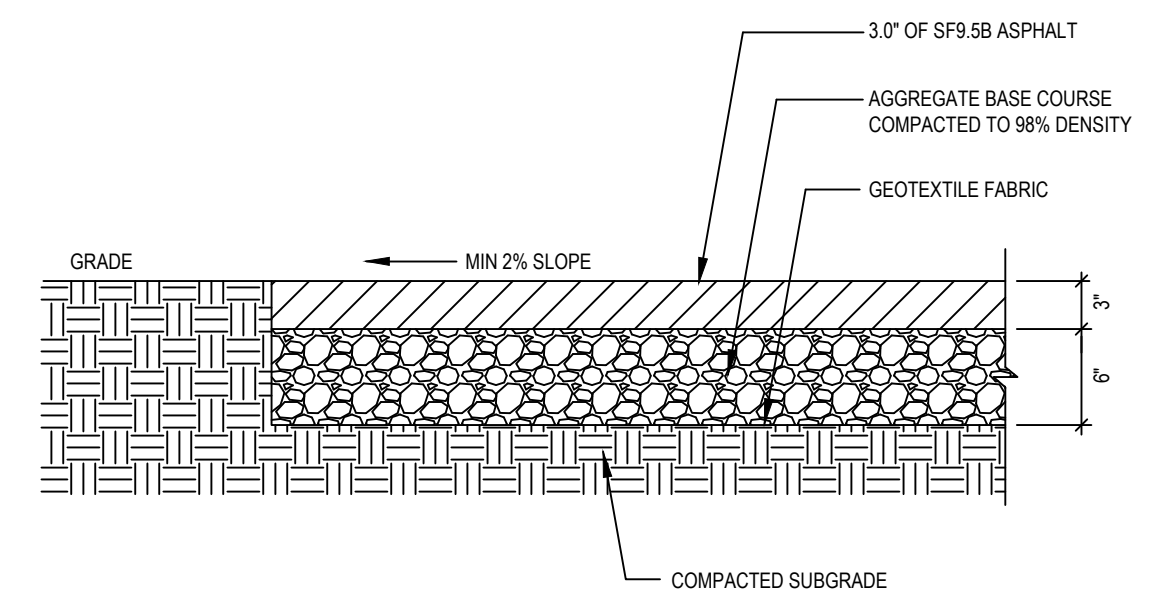
REVISIONS		
NO.	REASON	DATE

Principal in Charge:  
 D. WALKER  
 Project Address:  
**LUCK'S CANNERY - PHASE I  
 798 NC Hwy. 705 Seagrove,  
 NC 27341**

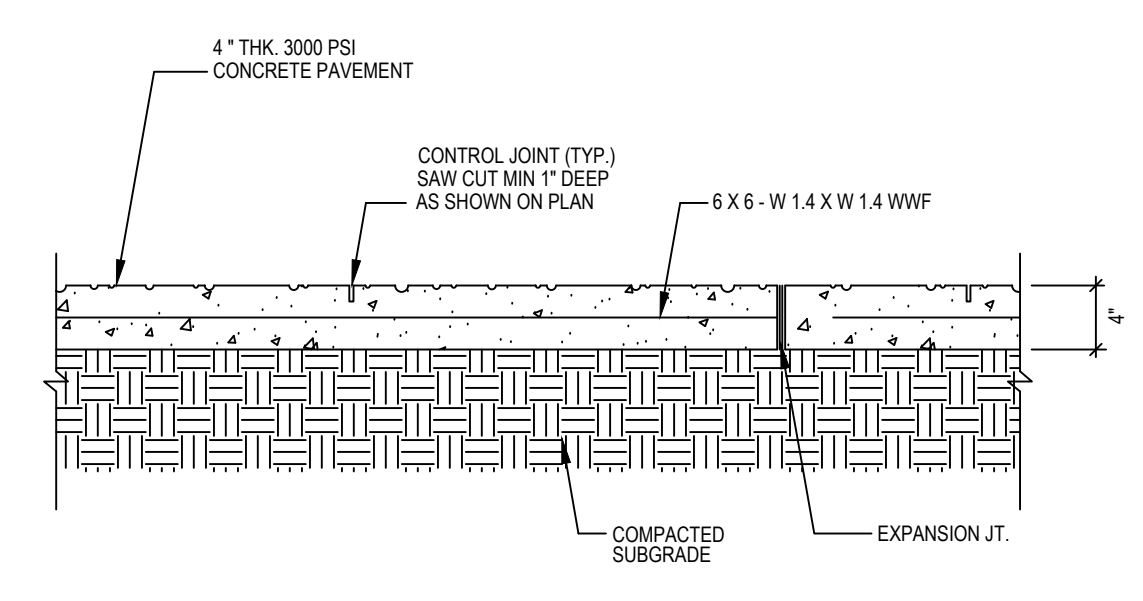
Project Number:  
 201901  
 Sheet Title:

**SITE  
 DETAILS**

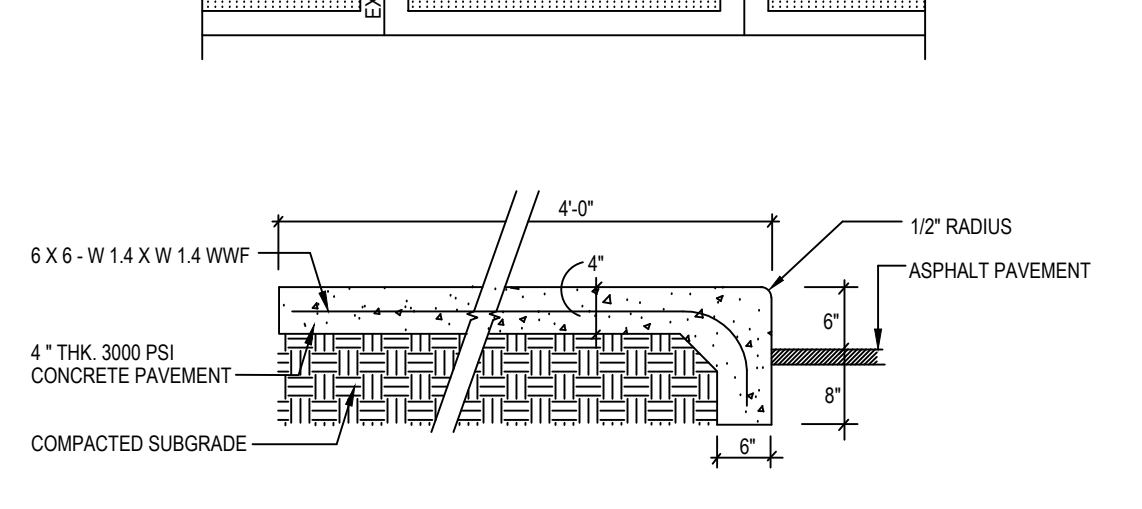
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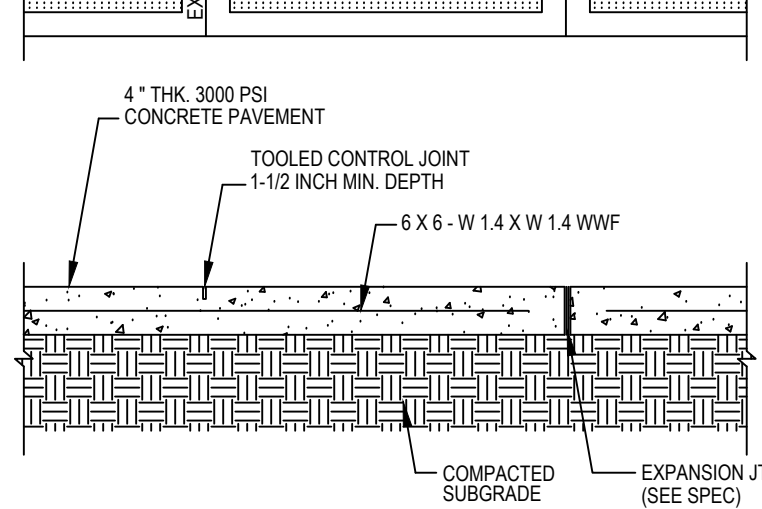
**ASPHALT PAVING**  
 SCALE: 1" = 1'-0"



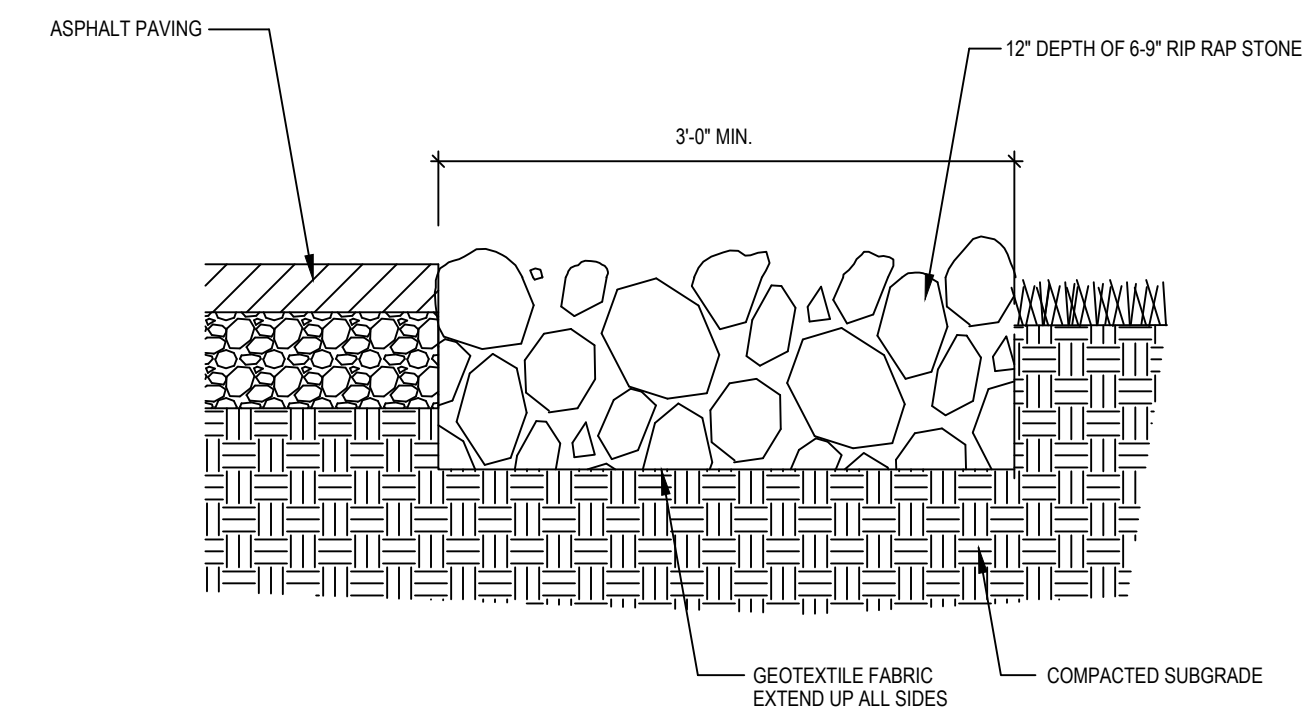
**CONCRETE PAVING - PEDESTRIAN RATED**  
 SCALE: 1" = 1'-0"



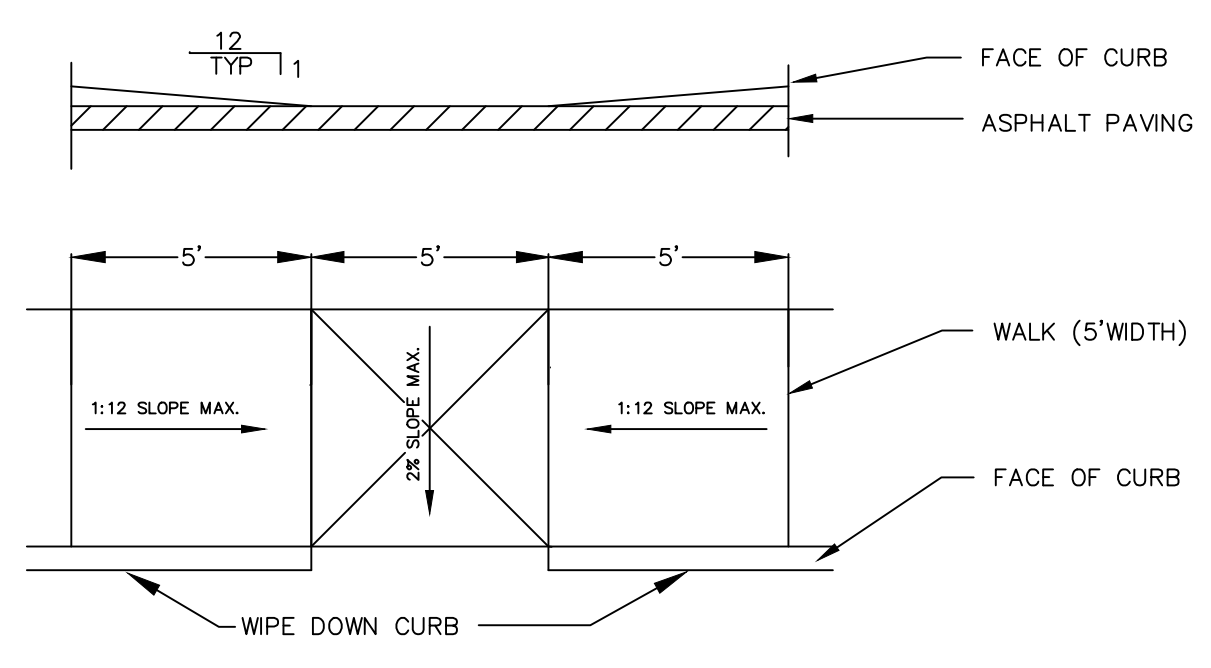
**TURNDOWN CONCRETE SIDEWALK**  
 SCALE: 3/4" = 1'-0"



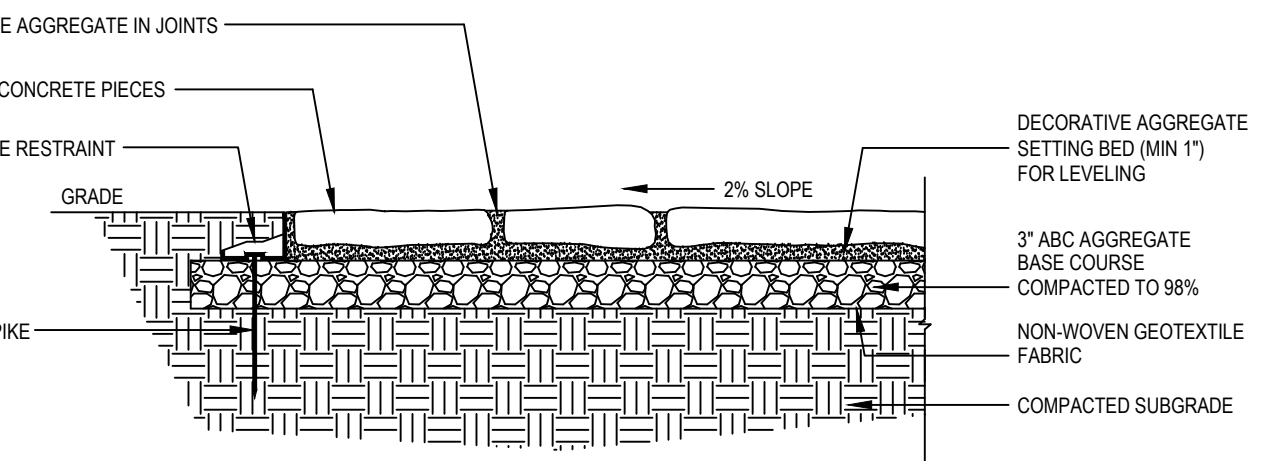
**CONCRETE SIDEWALK**  
 SCALE: 3/4" = 1'-0"



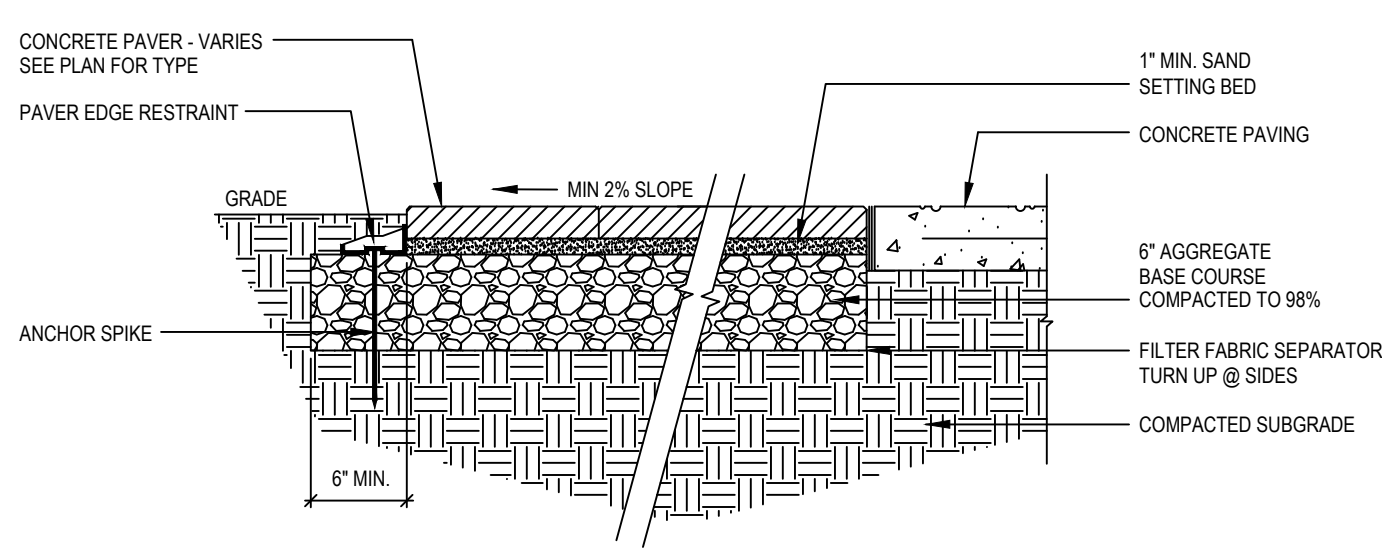
**STORMWATER DISSIPATION CHANNEL**  
 SCALE: 1" = 1'-0"



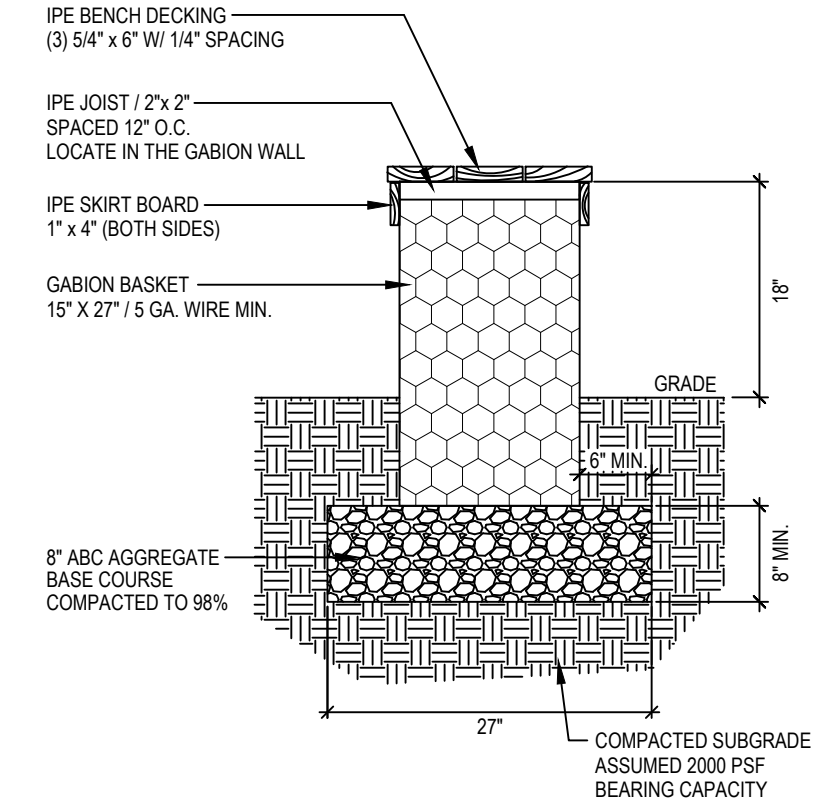
**SIDWALK RAMP - ADA ACCESSIBLE**  
 SCALE: 1/4" = 1'-0"



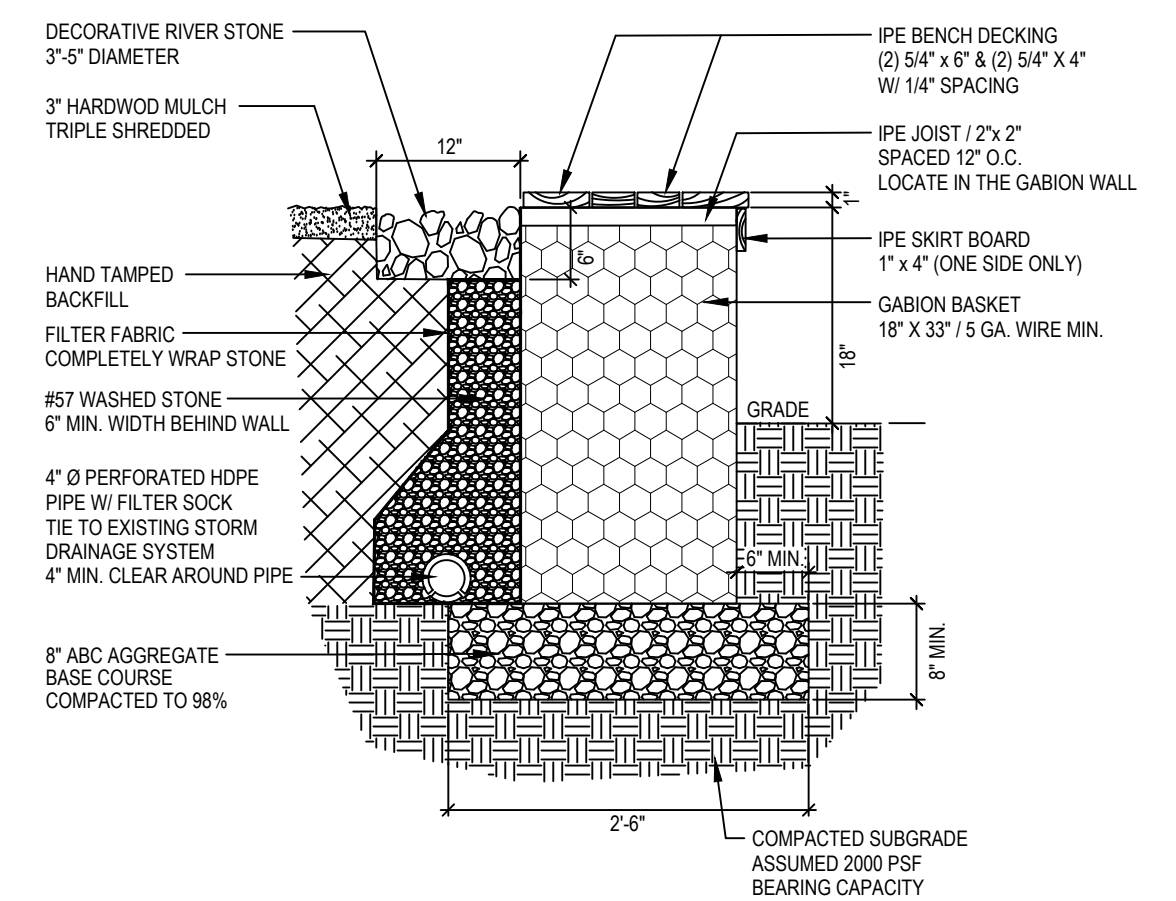
**BROKEN CONCRETE PAVING**  
 SCALE: 1" = 1'-0"



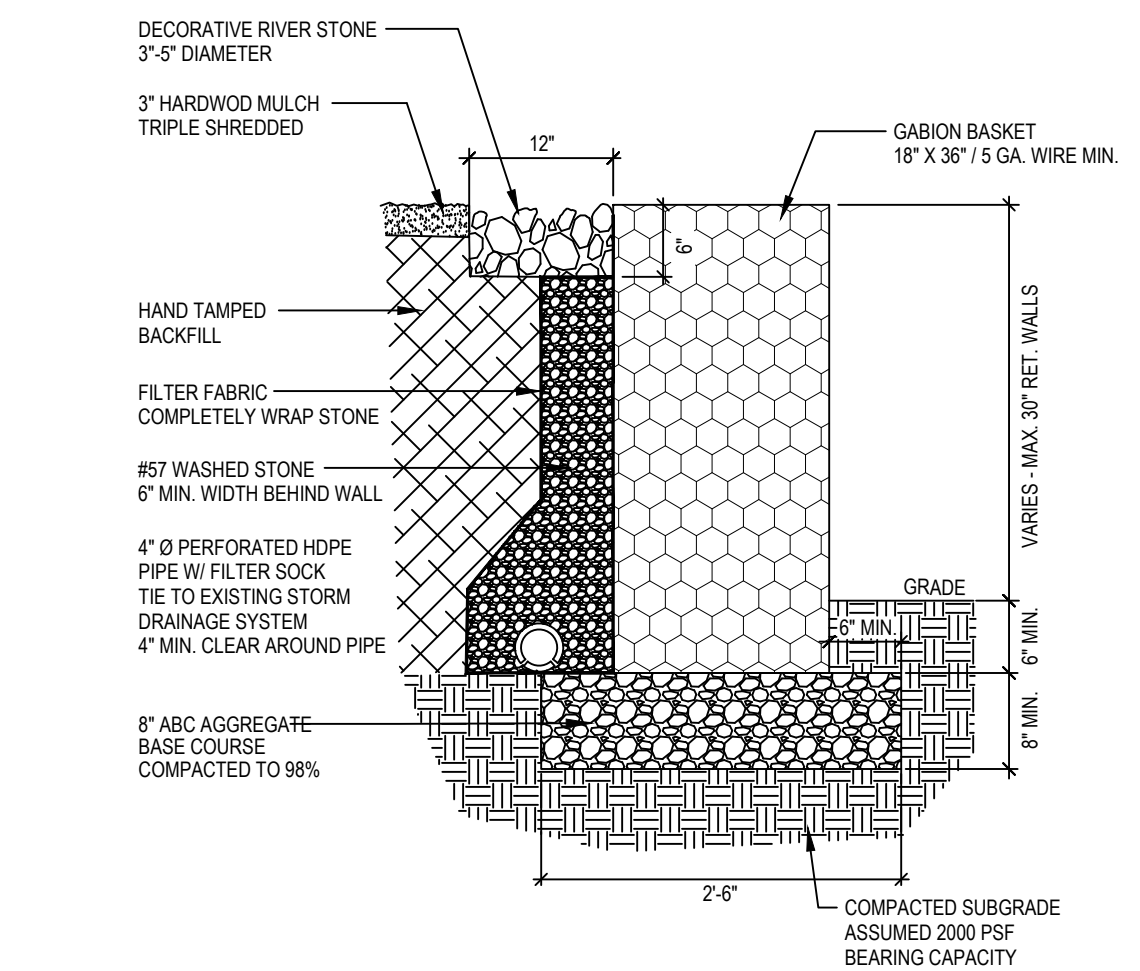
**CONCRETE PAVERS**  
 SCALE: 1" = 1'-0"



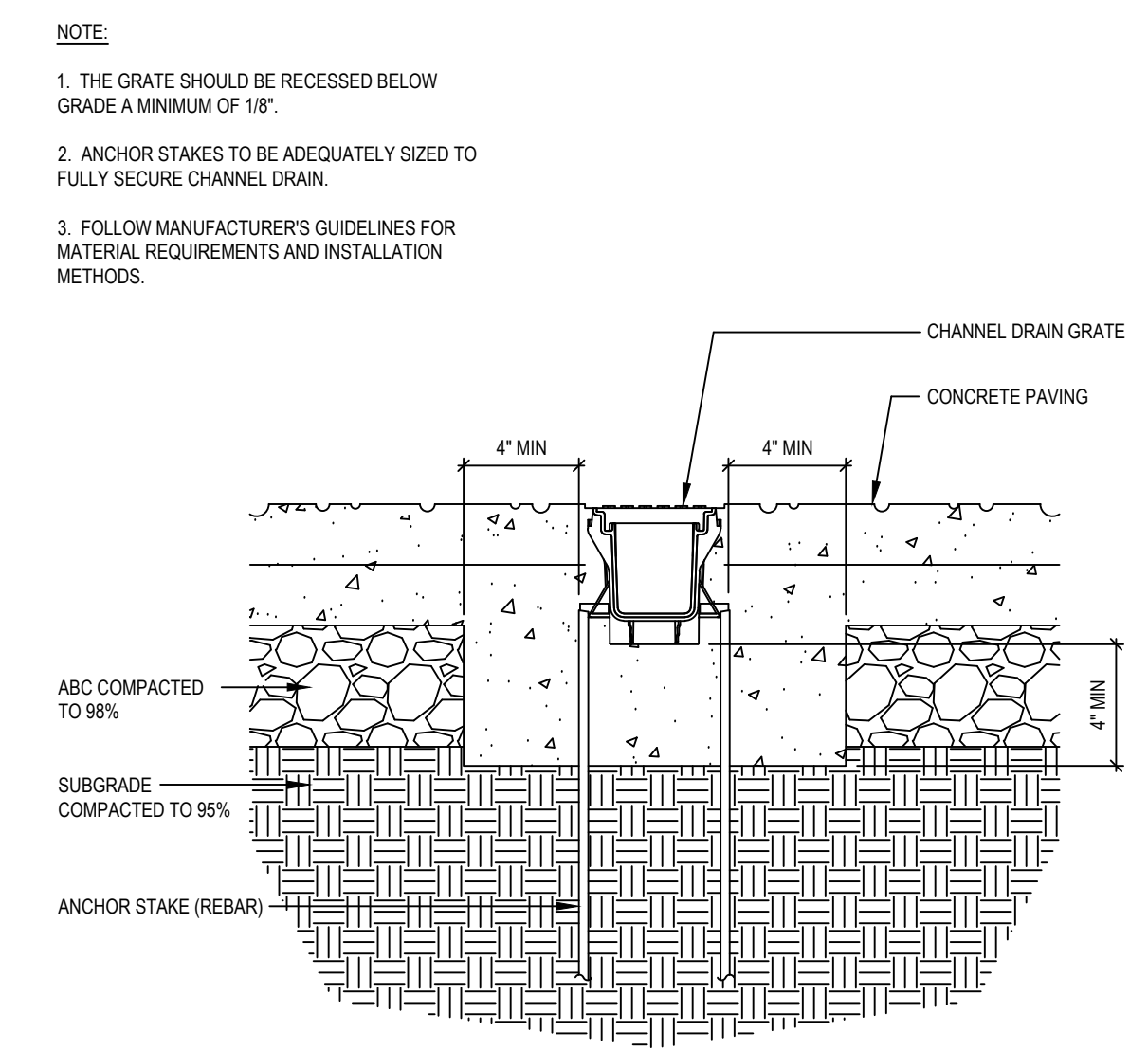
**GABION BENCH**  
 SCALE: 3/4" = 1'-0"



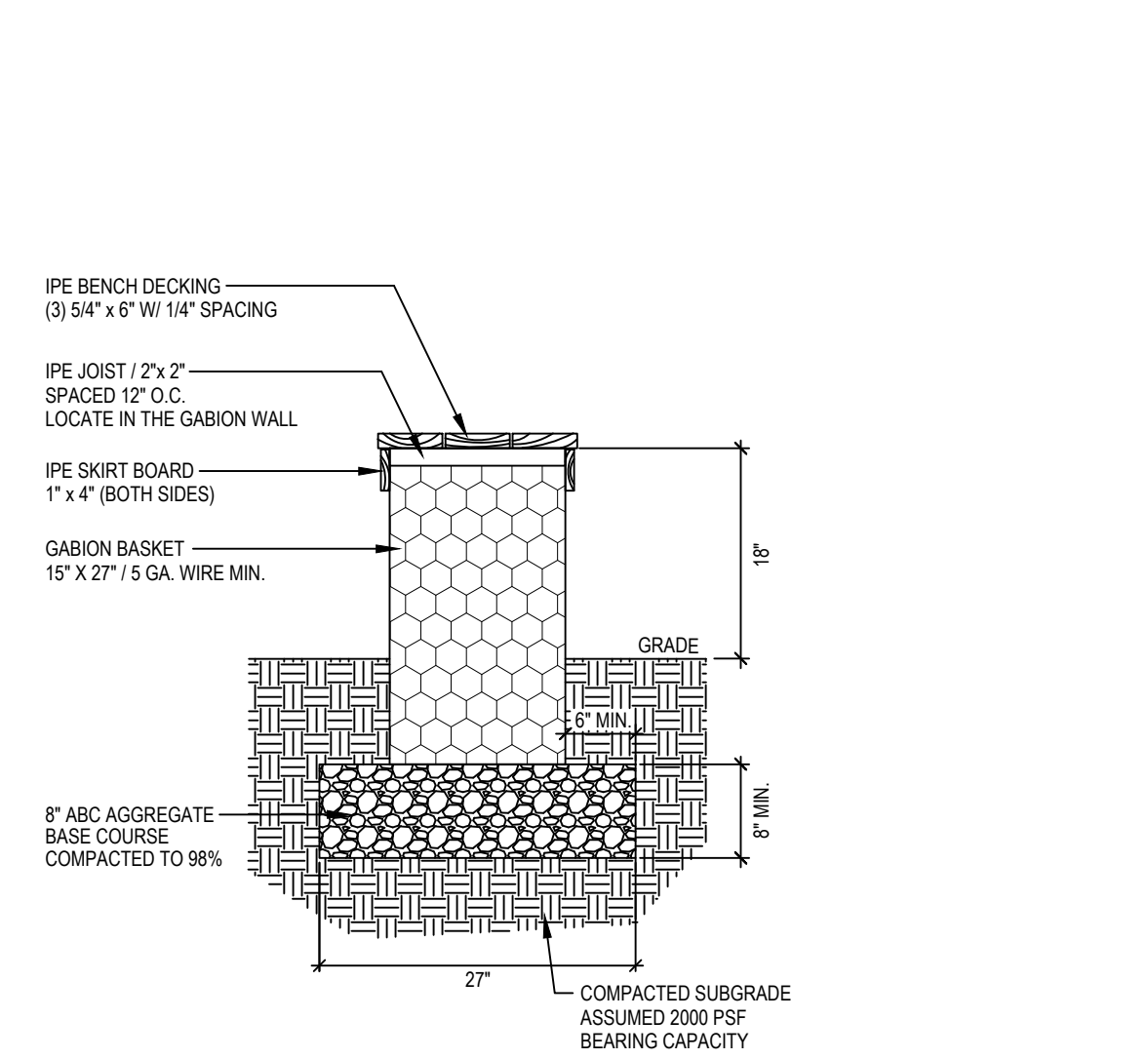
**GABION SEAT WALL**  
 SCALE: 3/4" = 1'-0"



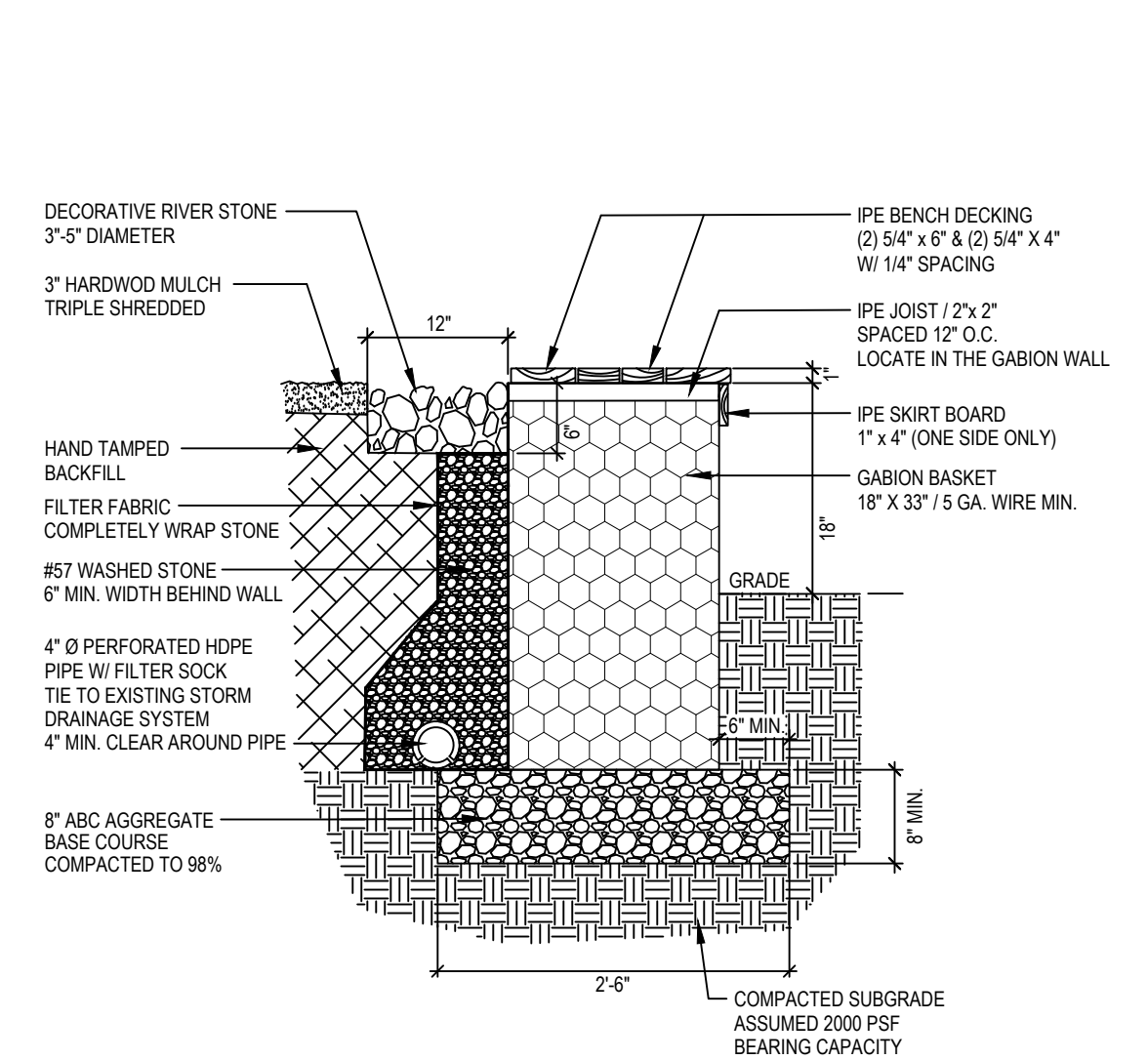
**GABION RETAINING WALL**  
 SCALE: 3/4" = 1'-0"



**TRENCH DRAIN**  
 SCALE: 2" = 1'-0"



**GABION SEAT WALL**  
 SCALE: 3/4" = 1'-0"

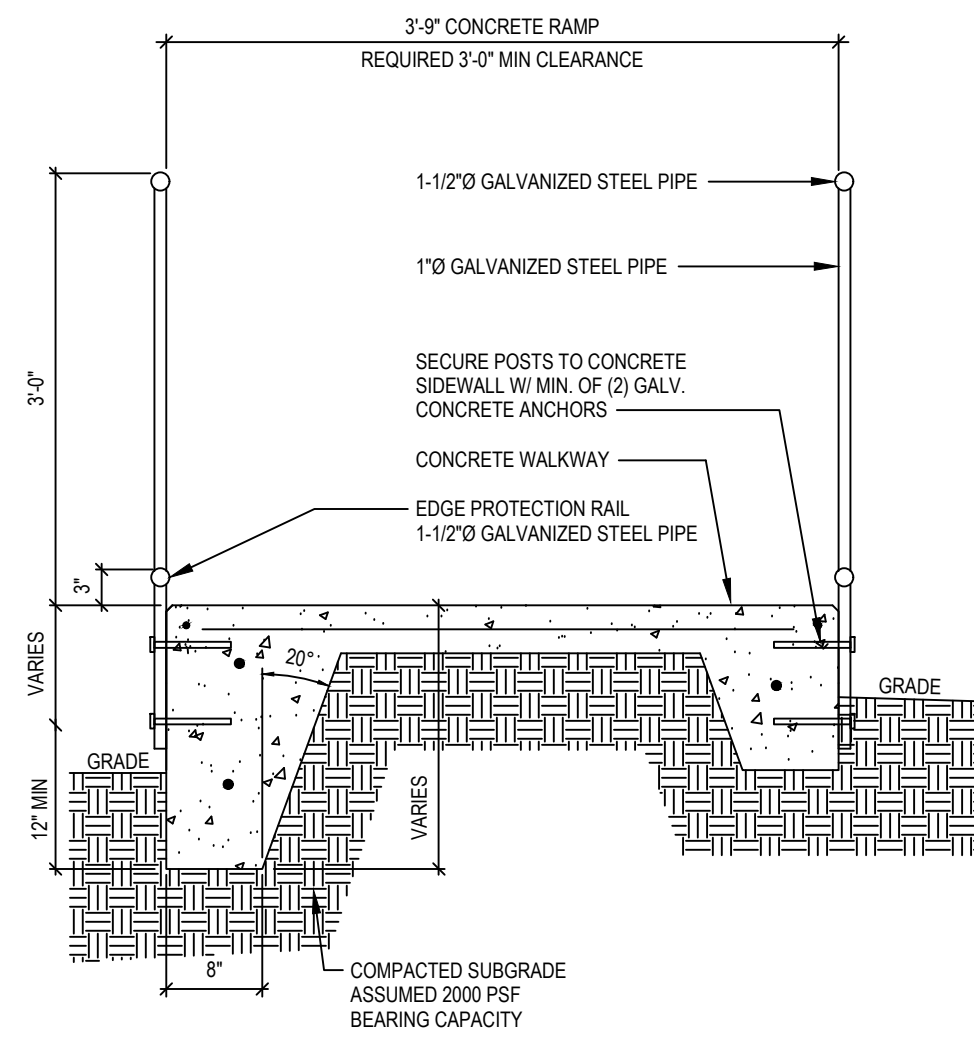


**GABION RETAINING WALL**  
 SCALE: 3/4" = 1'-0"

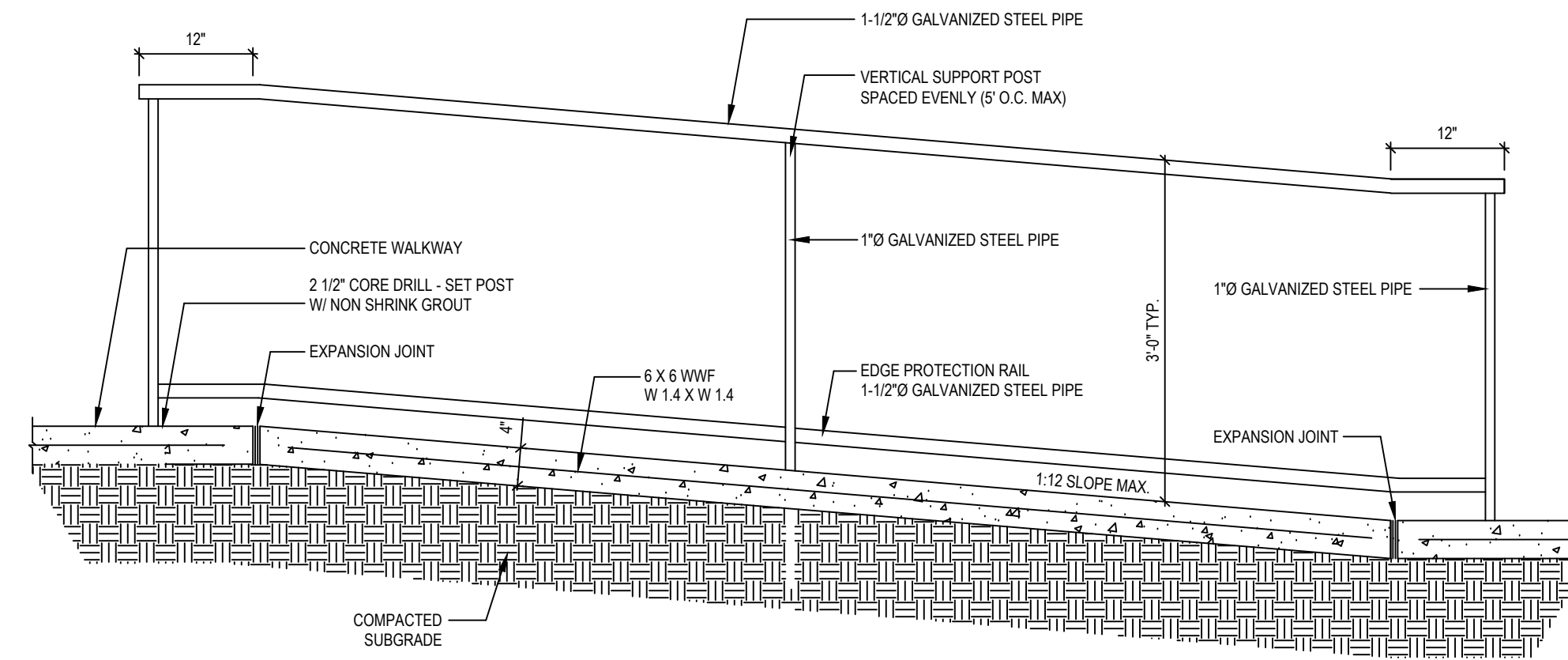
**NOTE:**  
 1. FOLLOW MANUFACTURER'S GUIDELINES FOR MATERIAL REQUIREMENTS AND INSTALLATION METHODS.  
 2. INSTALL EDGE RESTRAINT ALONG SIDE OF PAVER THAT FACES PROPOSED LANDSCAPE AREAS ONLY (NOT REQUIRED AGAINST ADJACENT RIGID CONSTRUCTION).  
 3. PROVIDE EXPANSION JOINT AT RIGID CONSTRUCTION.  
 3. APPLY CONCRETE PAVER SEALER AS SPECIFIED. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

**NOTE:**  
 1. DEMOLITION OF EXISTING CONCRETE SLAB TO RESULT IN MANAGEABLE SIZE PIECES NO GREATER THAN 4' X 3'.  
 2. CONTRACTOR TO ENSURE STABLE INSTALLATION OF SALVAGED CONCRETE PIECES TO AVOID ANY MOVEMENT WHEN WALKED ON.  
 3. JOINT SPACING 3' MIN - 5' MAX

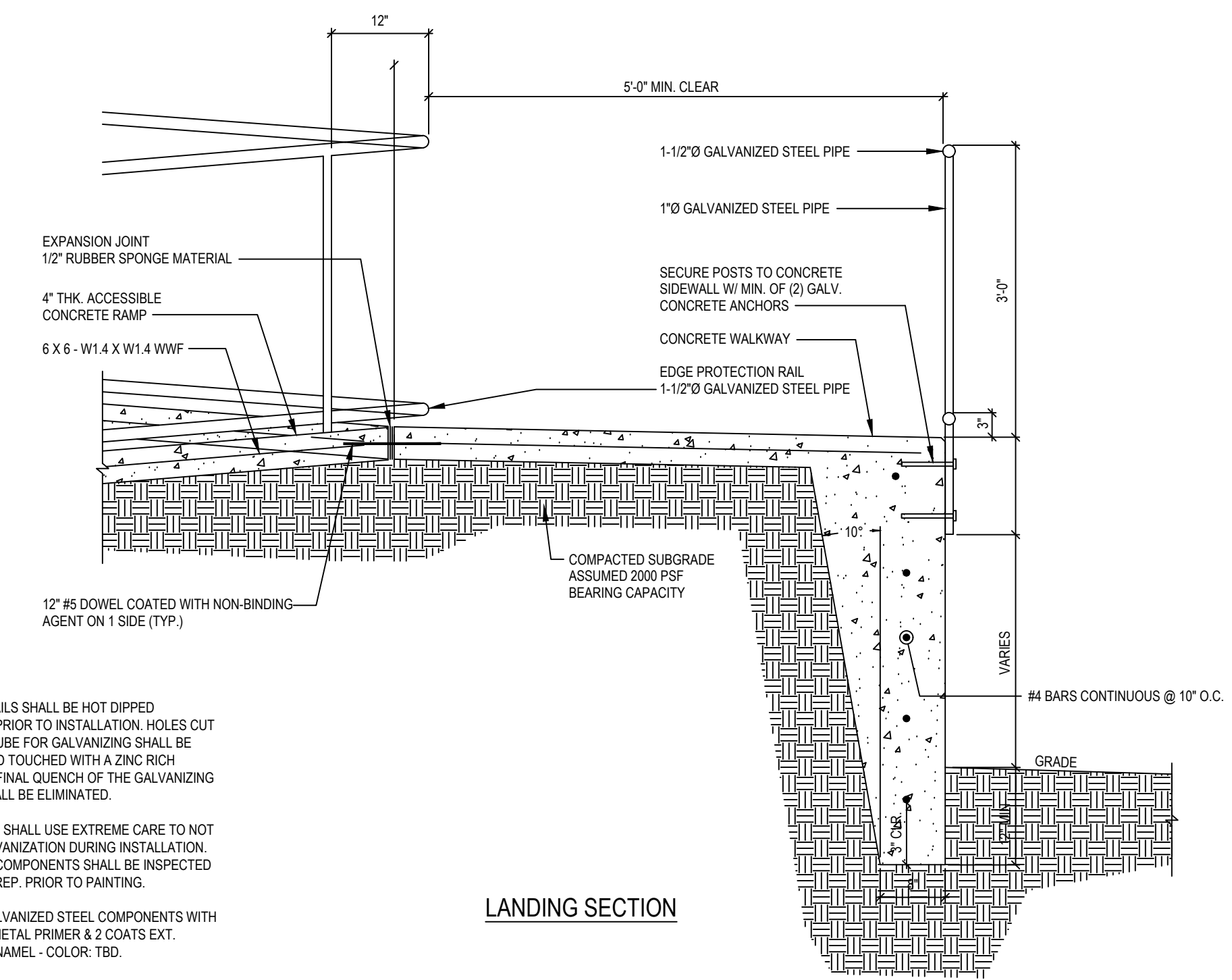
**NOTES**  
 1. PROVIDE EXPANSION JOINTS AS SHOWN ON SITE PLAN (MAX. 40-FOOT INTERVALS) AND WHERE POUR IS CONTIGUOUS TO ANY STRUCTURE.  
 2. SEE PLANS FOR CONTROL JOINT LOCATIONS / PATTERN.  
 3. CONCRETE TO HAVE "BROOM" FINISH.



RAMP SECTION



RAILING PROFILE



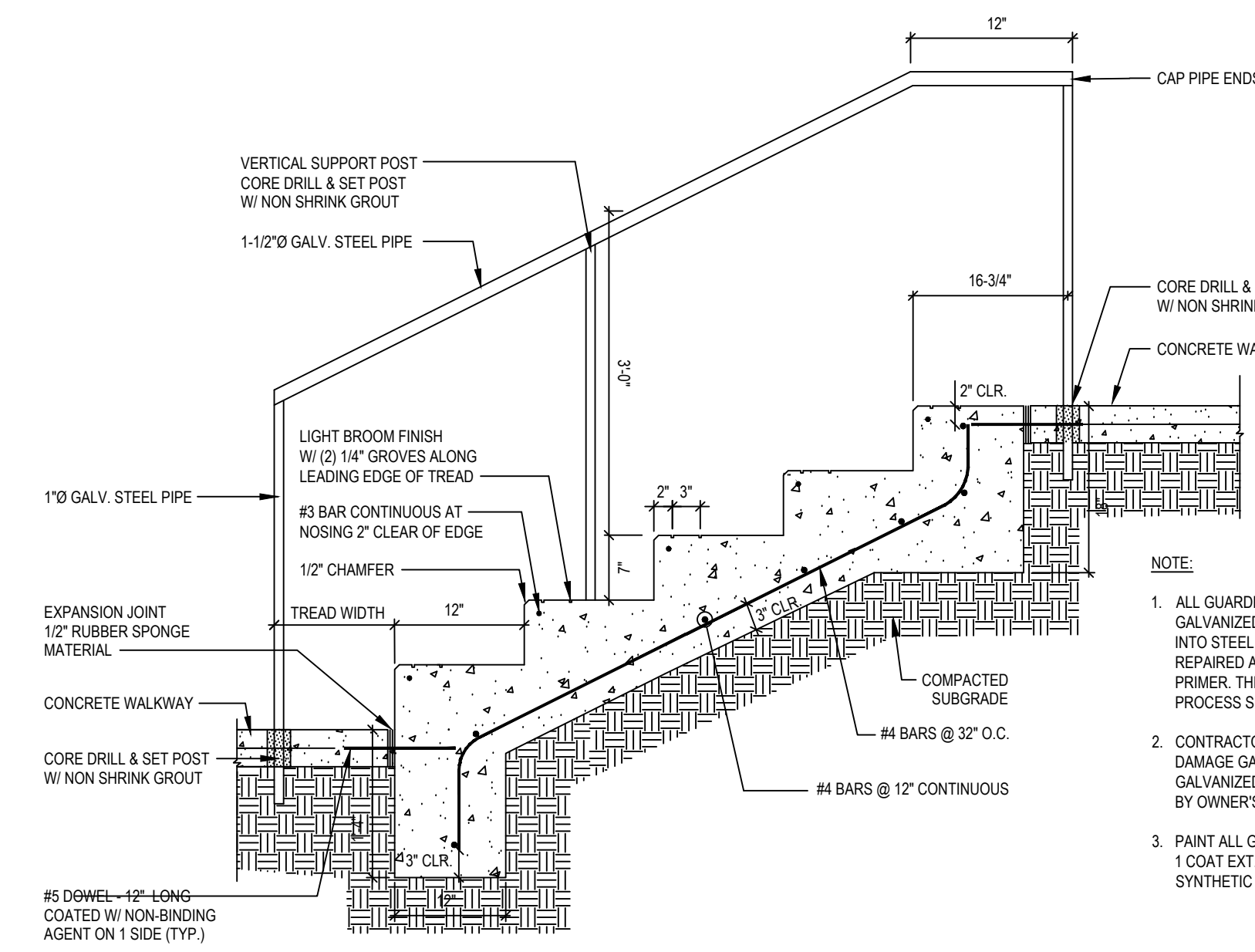
LANDING SECTION

NOTE:

1. ALL GUARDRAILS SHALL BE HOT DIPPED GALVANIZED PRIOR TO INSTALLATION. HOLES CUT INTO STEEL TUBE FOR GALVANIZING SHALL BE REPAIRED AND TOUCHED WITH A ZINC RICH PRIMER. THE FINAL QUENCH OF THE GALVANIZING PROCESS SHALL BE ELIMINATED.
2. CONTRACTOR SHALL USE EXTREME CARE TO NOT DAMAGE GALVANIZATION DURING INSTALLATION. GALVANIZED COMPONENTS SHALL BE INSPECTED BY OWNER'S REP. PRIOR TO PAINTING.
3. PAINT ALL GALVANIZED STEEL COMPONENTS WITH 1 COAT EXT. METAL PRIMER & 2 COATS EXT. SYNTHETIC ENAMEL - COLOR: TBD.

CONCRETE ACCESSIBLE RAMP & HANDRAILS  
SCALE: 3/4" = 1'-0"

1

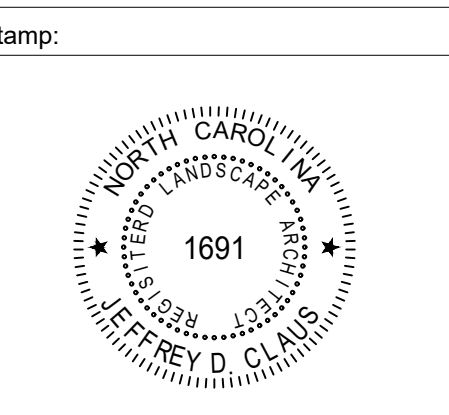


- NOTE:
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  3. PAINT ALL GALVANIZED STEEL COMPONENTS WITH 1 COAT EXT. METAL PRIMER & 2 COATS EXT. SYNTHETIC ENAMEL - COLOR: TBD.

CONCRETE STEPS & HANDRAILS  
SCALE: 3/4" = 1'-0"

2

Project Owner:  
**LUCK'S CANNERY REDEVELOPMENT -PHASE I-**  
Seagrove, NC 27341



Issue For:  
**CONSTRUCTION**  
Issue Date:  
04.01.2019

REVISIONS		
NO.	REASON	DATE

PRINCIPAL IN CHARGE:  
D. WALKER  
Project Address:  
**LUCK'S CANNERY - PHASE I**  
798 NC Hwy. 705 Seagrove,  
NC 27341

Project Number:  
201901  
Sheet Title:

**SITE DETAILS**

Sheet Number:  
**L310**

## GENERAL NOTES:

1. THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE ARCHITECTURAL, CIVIL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS, AND THE SPECIFICATIONS. THE CONTRACTOR SHALL VERIFY THE REQUIREMENTS OF OTHER TRADES AS TO SLEEVES, CHASES, HANGERS, INSERTS, ANCHORS, HOLES, AND ADDITIONAL ITEMS TO BE PLACED OR SET IN THE STRUCTURAL WORK.

2. THE MODIFICATIONS TO THIS STRUCTURE HAVE BEEN DESIGNED IN ACCORDANCE WITH THE PROVISIONS OF THE NORTH CAROLINA STATE EXISTING BUILDING CODE, 2018 EDITION.

3. THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING AND BRACING REQUIRED TO ERECT AND HOLD THE STRUCTURE IN PROPER ALIGNMENT UNTIL PERMANENT SUPPORTS AND LATERAL BRACING ARE IN PLACE.

4. PORTIONS OF THE EXISTING STRUCTURE NOT ALTERED AND NOT AFFECTED BY THE ALTERATION HAVE NOT BEEN REVIEWED FOR COMPLIANCE WITH THE CODE REQUIREMENTS FOR A NEW STRUCTURE.

5. BEFORE PROCEEDING WITH WORK WITHIN THE EXISTING STRUCTURE, THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING STRUCTURAL CONDITIONS. ANY SHORING OR BRACING SHOWN IS A PARTIAL AND SCHEMATIC REPRESENTATION OF THAT REQUIRED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN AND ERECTION OF ANY AND ALL SAFEGUARDS NECESSARY TO PROTECT THE EXISTING STRUCTURE. THE CONTRACTOR SHALL PROVIDE SHORING, BRACING, AND OTHER SAFEGUARDS TO MAINTAIN ALL PARTS OF THE STRUCTURE IN A SAFE CONDITION AT ALL TIMES DURING THE PROCESS OF DEMOLITION AND CONSTRUCTION.

6. THE CONTRACTOR SHALL FIELD VERIFY THE DIMENSIONS, ELEVATIONS, AND OTHER REQUIREMENTS NECESSARY FOR THE PROPER CONSTRUCTION AND ALIGNMENT OF THE NEW PORTIONS OF THE STRUCTURE TO THE EXISTING. ANY DIMENSIONS SHOWN OF EXISTING STRUCTURES SHALL BE CONSIDERED AS APPROXIMATE AND ADEQUATE FOR BIDDING PURPOSES ONLY. THE CONTRACTOR SHALL MAKE ALL MEASUREMENTS NECESSARY FOR THE FABRICATION AND ERECTION OF STRUCTURAL MEMBERS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT & ENGINEER.

7. DESIGN CRITERIA:

<u>CLASSIFICATION OF BUILDING</u>	
RISK CATEGORY	II
<u>LIVE LOADS - UNIFORM:</u>	
SLAB ON GRADE	100 PSF
<u>WIND LOADS:</u>	
ULTIMATE DESIGN WIND SPEED (V <sub>ULT</sub> )	115 MPH
EXPOSURE CATEGORY	
	B
INTERNAL PRESSURE COEFFICIENT	
	±0.18
COMPONENT AND CLADDING PRESSURES:	
WALLS, ZONE 5 (10 SF)	29 PSF
PARAPET, END/CORNER (10 SF)	62 PSF

## FOUNDATION NOTES:

1. FOUNDATIONS HAVE BEEN DESIGNED FOR A NET ALLOWABLE SOIL BEARING PRESSURE OF 1,500 PSF (PRESUMPTIVE).

2. PRIOR TO PLACING FOUNDATION CONCRETE, ALL FOUNDATION EXCAVATIONS SHALL BE INSPECTED BY THE SPECIAL INSPECTOR TO EXPLORE THE EXTENT OF LOOSE, SOFT, EXPANSIVE, OR OTHERWISE UNSATISFACTORY SOIL MATERIAL AND TO VERIFY DESIGN BEARING PRESSURE. DIRECTION FOR CORRECTIVE ACTION WILL BE PROVIDED WHERE REQUIRED.

3. NO UNBALANCED BACKFILLING SHALL BE DONE AGAINST MASONRY OR CONCRETE WALLS UNLESS WALLS ARE SECURELY BRACED AGAINST OVERTURNING, EITHER BY TEMPORARY CONSTRUCTION BRACING OR BY PERMANENT CONSTRUCTION.

4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONTROL OF GROUNDWATER AND SURFACE RUNOFF THROUGHOUT THE CONSTRUCTION PROCESS. INUNDATION AND LONG TERM EXPOSURE OF BEARING SURFACES WHICH RESULT IN DETERIORATION OF BEARING SHALL BE PREVENTED.

## CAST-IN-PLACE CONCRETE NOTES:

1. CONCRETE SHALL BE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE (ACI) 301 AND 318.

2. CONCRETE SHALL BE NORMAL WEIGHT AND SHALL OBTAIN 28 DAY COMPRESSIVE STRENGTHS AS FOLLOWS:

- A. SLAB-ON-GRADE .....3,500 PSI  
 B. FOOTINGS.....3,000 PSI

3. REINFORCING MATERIALS SHALL BE AS FOLLOWS:

- A. REINFORCING BARS - ASTM A 615, GRADE 60, DEFORMED.  
 B. WELDED WIRE REINFORCEMENT - ASTM A 185, WELDED STEEL WIRE REINFORCEMENT; PROVIDE SHEET TYPE, ROLL TYPE IS NOT ACCEPTABLE.

5. ALL REINFORCING STEEL AND EMBEDDED ITEMS SUCH AS ANCHOR RODS AND WELD PLATES SHALL BE ACCURATELY PLACED AND ADEQUATELY TIED AND SUPPORTED BEFORE CONCRETE IS PLACED TO PREVENT DISPLACEMENT BEYOND PERMITTED TOLERANCES.

6. CONCRETE COVER TO REINFORCING STEEL SHALL CONFORM TO THE MINIMUM COVER RECOMMENDATIONS IN ACI 318, UNLESS THE DRAWINGS SHOW GREATER COVER REQUIREMENTS.

7. LAP CONTINUOUS REINFORCING STEEL 72XBD, UNLESS OTHERWISE NOTED:

## CONCRETE MASONRY NOTES:

1. CONCRETE MASONRY MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE AMERICAN CONCRETE INSTITUTE (ACI) 530.

2. CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C 90 AND SHALL BE MADE WITH NORMAL WEIGHT AGGREGATE. MINIMUM NET AREA COMPRESSIVE STRENGTH OF MASONRY UNITS SHALL BE 2,000 PSI AT 28 DAYS.

3. COMPRESSIVE STRENGTH OF MASONRY SHALL BE DETERMINED BY THE UNIT STRENGTH METHOD AS SET FORTH IN ACI 530.1. THE NET AREA COMPRESSIVE STRENGTH OF MASONRY, f<sub>m</sub>, SHALL BE 2,000 PSI AT 28 DAYS.

4. MORTAR SHALL BE TYPE M OR S AND SHALL COMPLY WITH ASTM C270, PROPORTIONS OR PROPERTIES SPECIFICATION.

5. GROUT SHALL COMPLY WITH ASTM C476, PROPORTIONS SPECIFICATION. THIS MIX SHALL CONTAIN NO ADMIXTURES. WATER SHALL BE ADDED IN THE FIELD IN ORDER TO ACHIEVE A SLUMP OF 8-11 INCHES WHEN PLACED IN THE MASONRY. MORTAR, PEA-GRAVEL CONCRETE, OR "CHAT" MIXES ARE NOT ACCEPTABLE SUBSTITUTES FOR THE SPECIFIED GROUT.

6. REINFORCING STEEL SHALL COMPLY WITH ASTM A 615, GRADE 60. SHOP FABRICATE REINFORCING BARS WHICH ARE SHOWN TO BE BENT OR HOOKED.

7. ALL BOND BEAMS, REINFORCED CELLS AND CELLS WITH EXPANSION BOLTS, EMBED PLATES OR OTHER ANCHORS AND ALL CELLS BELOW GRADE SHALL BE GROUTED SOLID. GROUT PROCEDURE SHALL COMPLY WITH ACI 530.1.

8. PROVIDE REINFORCING BARS OF THE GIVEN SIZE AND SPACING SHOWN. LAP CONTINUOUS REINFORCING STEEL 72 BAR DIAMETERS UNLESS OTHERWISE NOTED.

9. PROVIDE STANDARD 9 GAGE LADDER TYPE HORIZONTAL JOINT REINFORCING IN CMU WALLS AT 16 INCHES ON CENTER AND IN TWO JOINTS IMMEDIATELY ABOVE AND BELOW ALL OPENINGS, EXTENDING A MINIMUM OF 2 FEET BEYOND THE JAMB ON EACH SIDE OF THE OPENING, EXCEPT AT CONTROL JOINTS.

## STRUCTURAL STEEL NOTES:

1. STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) 360.

2. STRUCTURAL STEEL SHALL COMPLY WITH THE FOLLOWING SPECIFICATIONS:

- A. STRUCTURAL STEEL SHAPES, PLATES AND BARS UNLESS OTHERWISE NOTED -  
 ASTM A 36, F<sub>y</sub> = 36 KSI
- B. STRUCTURAL STEEL W-SHAPES - ASTM A 992, F<sub>y</sub> = 50 KSI
- C. HOLLOW STRUCTURAL SECTIONS (HSS):  
 SQUARE AND RECTANGULAR - ASTM A 500, GRADE B, F<sub>y</sub> = 46 KSI  
 ROUND - ASTM A 500, GRADE B, F<sub>y</sub> = 42 KSI
- D. PIPES - ASTM A53, GRADE B, F<sub>y</sub> = 35 KSI
- E. STEEL CASTINGS - ASTM A 216, GRADE WCB, MEDIUM STRENGTH CARBON STEEL
- F. ANCHOR RODS - ASTM F 1554, GRADE [36] [55]
- G. HIGH STRENGTH BOLTS - ASTM A325 (TYPICAL UON)

3. WELDING SHALL BE IN ACCORDANCE WITH AWS D1.1, "STRUCTURAL WELDING CODE- STEEL." WELD ELECTRODES SHALL BE E70XX LOW HYDROGEN. UNLESS OTHERWISE NOTED, PROVIDE CONTINUOUS FILLET WELDS WITH MINIMUM SIZE REQUIRED BY TABLE J2.4 AISC 360.

4. HOT DIP GALVANIZE AFTER FABRICATION THE FOLLOWING:

- A. ANGLES AND PLATES SUPPORTING MASONRY IN EXTERIOR WALLS.  
 B. LINTELS AND LINTEL ASSEMBLIES SUPPORTING MASONRY IN EXTERIOR WALLS.  
 C. ALL STEEL EXPOSED TO WEATHER IN THE FINAL CONSTRUCTION.  
 D. ITEMS IDENTIFIED AS GALVANIZED ON ARCHITECTURAL OR STRUCTURAL DRAWINGS.

## ABBREVIATIONS:

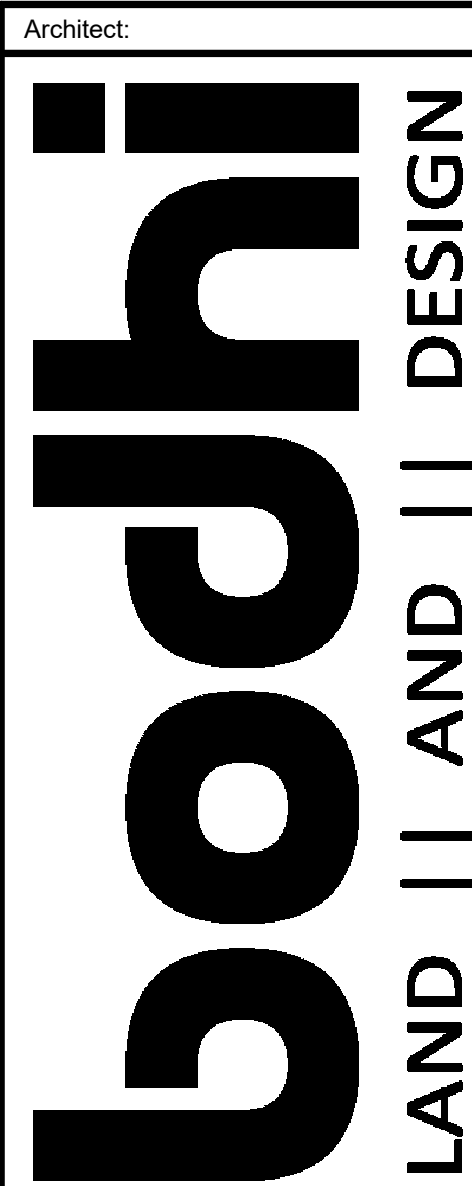
AFF	ABOVE FINISHED FLOOR	HSS	HOLLOW STRUCTURAL SECTIONS
ARCH	ARCHITECT	HT	HEIGHT
BD	BAR DIAMETER	HVY	HEAVY
BEJ	BUILDING EXPANSION JOINT	INT	INTERIOR
BLDG	BUILDING	JBE	JOIST BEARING ELEVATION
BOD	BOTTOM OF DECK	JT	JOINT
BOT, B	BOTTOM	KCJ	KEYED CONSTRUCTION JOINT
BRG	BEARING	L	LOW
BTWN	BETWEEN	LLH	LONG LEG HORIZONTAL
C TO C	CENTER TO CENTER	LLV	LONG LEG VERTICAL
CFMF	COLD FORMED METAL FRAMIN	LSH	LONG SIDE HORIZONTAL
CJ	CONTROL JOINT	LSV	LONG SIDE VERTICAL
CL	CENTERLINE	LWT	LIGHTWEIGHT
CLR	CLEAR	LWC	LIGHTWEIGHT CONCRETE
CMU	CONCRETE MASONRY UNIT	MAS	MASONRY
COL	COLUMN	MATL	MATERIAL
CONC	CONCRETE	MAX	MAXIMUM
CONN	CONNECTION	MECH	MECHANICAL
CONSTR	CONSTRUCTION	MFR	MANUFACTURER
CONT	CONTINUOUS	MID	MIDDLE
COORD	COORDINATE	MIN	MINIMUM
CTR	CENTER	MOD	MODIFY
CTRD	CENTERED	MOS	MIDDEPTH OF SLAB
CW	CURTAIN WALL	NOM	NOMINAL
DBL	DOUBLE	NTS	NOT TO SCALE
DCJ	DOWELED CONSTRUCTION JOINT	OC	ON CENTER
DIA	DIAMETER	OPH	OPPOSITE HAND
DJ	DOUBLE JOIST	OPNG	OPENING
DWGS	DRAWINGS	PAF	POWDER ACTUATED FASTENER
EA	EACH	PAR	PARALLEL
EF	EACH FACE	PC	PIECE
EJ	EXPANSION JOINT	PEN	PENETRATE, PENETRATION
EL	ELEVATION	PERP	PERPENDICULAR
ELEV	ELEVATOR	PL	PLATE
EMBED	EMBEDMENT	R	RADIUS
EOD	EDGE OF DECK	REF	REFERENCE, REFER TO
EOS	EDGE OF SLAB	REINF	REINFORCE, REINFORCED, REINFORCING
EQ	EQUAL	REQD	REQUIRED
EW	EACH WAY	REQMTS	REQUIREMENTS
EXIST	EXISTING	SCHED	SCHEDULE
EXP	EXPANSION	SF	STEPPED FOOTING
EXT	EXTERIOR	SGB	STEPPED GRADE BEAM
FD	FLOOR DRAIN	SIM	SIMILAR
FDN	FOUNDATION	SJ	SAWED JOINT
FO	FACE OF	SL	SLOPE
FF EL	FINISHED FLOOR ELEVATION	T&B	TOP AND BOTTOM
FIN	FINISH	T&G	TONGUE AND GROOVE
FIN FLR	FINISHED FLOOR	THK	THICKNESS
FOB	FACE OF BUILDING	TOC	TOP OF CONCRETE
FOC	FACE OF CONCRETE	TOF	TOP OF FOOTING
FOM	FACE OF MASONRY	TOM	TOP OF MASONRY
FOS	FACE OF SLAB/ STUD	TOS	TOP OF STEEL
FRMG	FRAMING	TS	THICKENED SLAB
FTG	FOOTING	TYP	TYPICAL
FV	FIELD VERIFY	UON	UNLESS OTHERWISE NOTED
GALV	GALVANIZED	VERT	VERTICAL
GEN	GENERAL	W/	WITH
GR BM	GRADE BEAM	WP	WORKING POINT
H	HIGH	WSP	WOOD STRUCTURAL PANEL(S)
HK	HOOK	WWR	WELDED WIRE REINFORCING
HORIZ	HORIZONTAL		

## PLAN LEGEND:

TOS = +x'-x"	=	TOP OF STEEL ELEVATION MEASURED FROM REFERENCED FINISHED FIRST FLOOR ELEVATION = 0'-0"
BOS = +x'-x"	=	BOTTOM OF STEEL ELEVATION MEASURED FROM REFERENCED FINISHED FIRST FLOOR ELEVATION = 0'-0"
TOM = +x'-x"	=	TOP OF MASONRY ELEVATION MEASURED FROM REFERENCED FINISHED FIRST FLOOR ELEVATION = 0'-0"
← (-X'-X")	=	TOP OF FOOTING ELEVATION MEASURED FROM REFERENCED FINISHED FIRST FLOOR ELEVATION = 0'-0"
← <-X'-X">	=	TOP OF EXISTING FOOTING ELEVATION MEASURED FROM REFERENCED FINISHED FIRST FLOOR ELEVATION = 0'-0"
← -X"	=	TOP OF SLAB ELEVATION MEASURED FROM REFERENCED FINISHED FIRST FLOOR ELEVATION = 0'-0"
↘ SL	=	DIRECTION OF SLOPE
(X) OR [X]	=	PLAN KEY NOTE MARK
⊗	=	SECTION/DETAIL NUMBER/LETTER
⊗ SX	=	SECTION/DETAIL MARK
⊗ SX	=	SHEET NUMBER WHERE SECTION/DETAIL MARK IS DRAWN
WFX	=	WALL FOOTING MARK
CFX	=	COLUMN FOOTING MARK
±	=	FIELD VERIFY
← S-X	=	SLAB MARK / SPAN DIRECTION
BEAM SIZE W16x26	=	COMPOSITE BEAM NOTATION

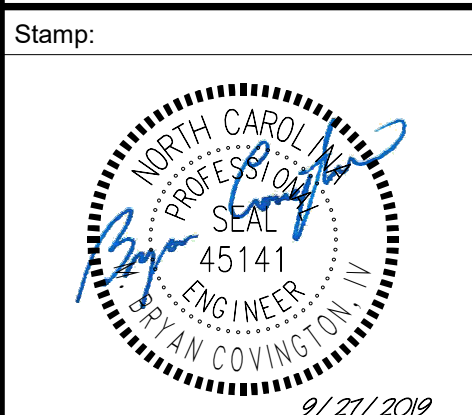


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Project Owner:  
**LUCK'S CANNERY REDEVELOPMENT -PHASE I-**  
 Seagrove, NC 27341



Issue For:  
**CONSTRUCTION**  
 Issue Date:  
 07.23.2019

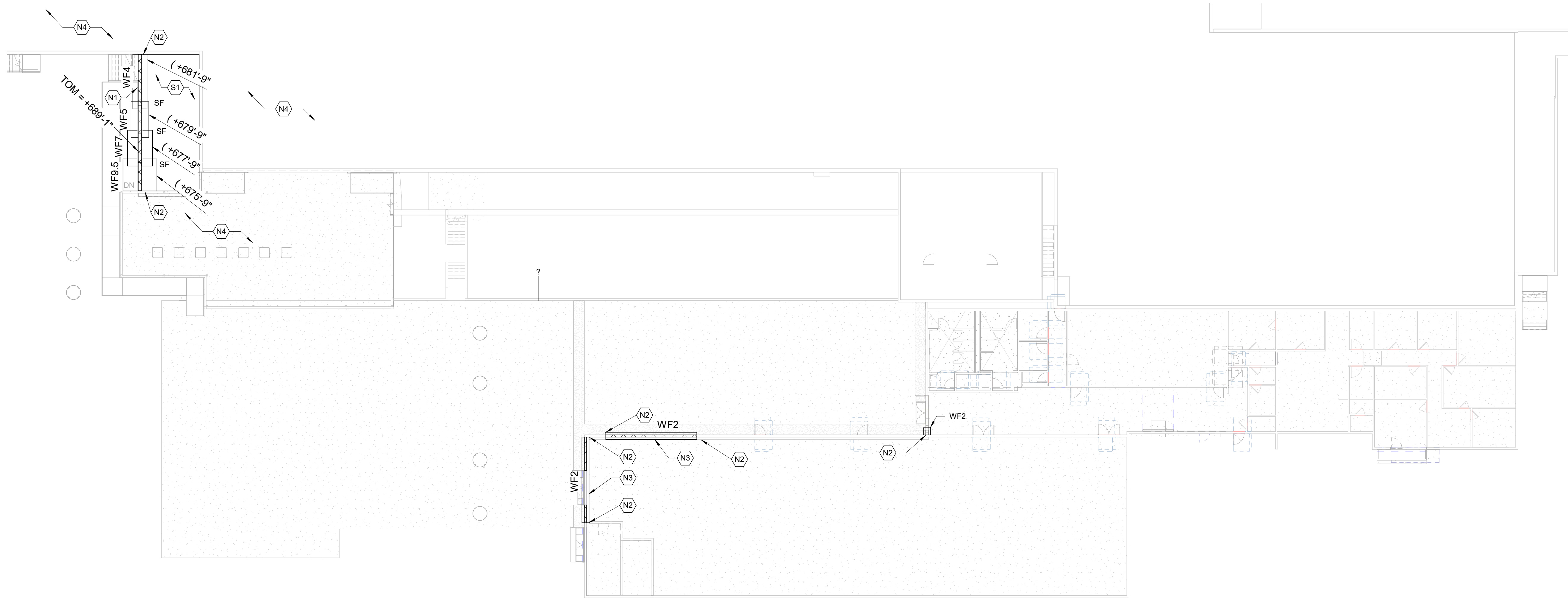
NO.	REASON	DATE

PRINCIPAL IN CHARGE:  
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Project Number:  
 201901

Sheet Title:  
**GENERAL NOTES**

Sheet Number:  
**S100**



**1 FOUNDATION PLAN**  
S101 1/16" = 1'-0"

**FOUNDATION PLAN NOTES**

- REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS TO NONBEARING WALLS, WALL CONTROL JOINTS AND OPENINGS.
- UNLESS OTHERWISE NOTED, ALL ELEVATIONS ARE BASED ON A FINISHED FIRST FLOOR REFERENCE OF 0'-0". ACTUAL FINISHED FLOOR ELEVATION IS 680'-9". REFER TO ARCHITECTURAL DRAWINGS FOR FINISHED FLOOR MATERIAL.
- TOP OF ALL FOOTINGS SHALL BE AT ELEVATION -1'-4", OR AS REQ'D TO MATCH TOP OF EXISTING WALL FOOTINGS, UNLESS OTHERWISE NOTED.
- NOT ALL UTILITY LOCATIONS ARE SHOWN ON PLAN. THE CONTRACTOR SHALL COORDINATE THE LOCATIONS, SIZES, AND INVERTS OF UTILITIES. AT LOCATIONS WHERE UTILITIES PASS BELOW THE TOP OF FOOTING ELEVATION, STEP THE TOP OF FOOTING DOWN ON EACH SIDE PER THE "STEPPED FOOTING DETAIL" AND SLEEVE THE UTILITY THROUGH THE FOUNDATION WALL. THE CONTRACTOR MAY, AT HIS OPTION, SLEEVE THE UTILITY THROUGH THE FOUNDATION PER THE "UTILITY SLEEVE DETAIL."
- UNLESS OTHERWISE INDICATED, EXTEND WALL FOOTINGS A MINIMUM OF 6 INCHES BEYOND ENDS OF WALLS. REF TYP DETAILS FOR LOCATIONS WHERE NEW FOOTINGS INTERSECT EXISTING WALL FOOTINGS.

**FOUNDATION PLAN KEY NOTES**

- N1 12" THK SOLID GROUTED CMU RETAINING WALL. REF TYPICAL PATIO RETAINING WALL DETAIL.
- N2 ATTACH NEW FOOTING TO EXISTING BY DRILLING AND EPOXY-DOWELING ALL LONGITUDINAL FOOTING BARS PER TYP DETAIL.
- N3 GC TO FIELD VERIFY EXISTING MIN 2'-0" WIDE X 10" THK POURED CONCRETE FOOTING. GC TO INSTALL NEW FOOTING AS REQUIRED.
- N4 GC TO VERIFY THAT EXISTING FOUNDATIONS ARE FULLY INFILLED SUCH THAT EXISTING SLABS BEAR FULLY ON GRADE.

**SLAB-ON-GRADE KEY NOTES**

- S1 4" CONCRETE SLAB-ON-GRADE, SLOPED PER ARCH DRAWINGS. GC IS TO FILL CAVITY BELOW SLAB WITH NO 57 WASHED STONE, FULL DEPTH OF EXCAVATION, SUCH THAT SLAB BEARS CONTINUOUSLY ON STONE BACKFILL. EARTHEN BACKFILL IS NOT PERMITTED. REINFORCE SLAB WITH 6x6 W2.1xW2.1 WELDED WIRE REINFORCING PLACED 1" CLEAR BELOW TOP OF SLAB. MAINTAIN REINFORCEMENT IN POSITION ON BOLSTERS, CHAIRS OR SPACERS DURING CONCRETE PLACEMENT.

**SLAB-ON-GRADE PLAN NOTES**

- SLAB-ON-GRADE JOINTS SHALL BE SAWED JOINTS.
- PLACE 1-#4 x 3'-0" IN MIDDLE OF SLAB AT REENTRANT CORNERS WHERE A SLAB CONTROL JOINT DOES NOT OCCUR.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LIMITS OF SLAB DEPRESSIONS.
- SEE ARCHITECTURAL DRAWINGS FOR SLAB SLOPES AND DRAIN LOCATIONS.

WALL FOOTING SCHEDULE				
MARK	SIZE		REINFORCING	
	WIDTH	DEPTH	CONTINUOUS	TRANSVERSE
WF2	2' - 0"	10"	3-#4 BOT	#4 AT 48" OC BOT
WF4	4' - 0"	1'-0"	5-#5 TOP AND BOT	#5 AT 16" OC TOP AND BOT
WF5	5' - 0"	1'-0"	6-#5 TOP AND BOT	#5 AT 16" OC TOP AND BOT
WF7	7' - 0"	1'-4"	9-#5 TOP AND BOT	#5 AT 8" OC TOP AND BOT
WF9.5	9' - 6"	1'-4"	12-#5 TOP AND BOT	#5 AT 8" OC TOP AND BOT

REVISIONS		
NO.	REASON	DATE

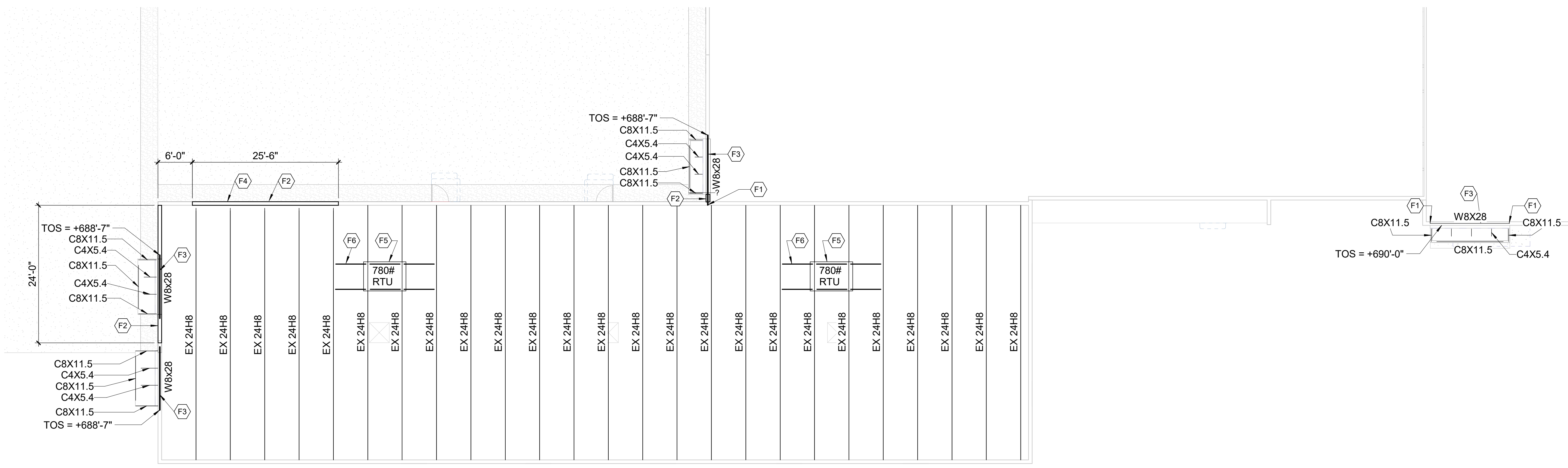
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Project Number:  
201901

Sheet Title:  
**FRAMING PLAN**

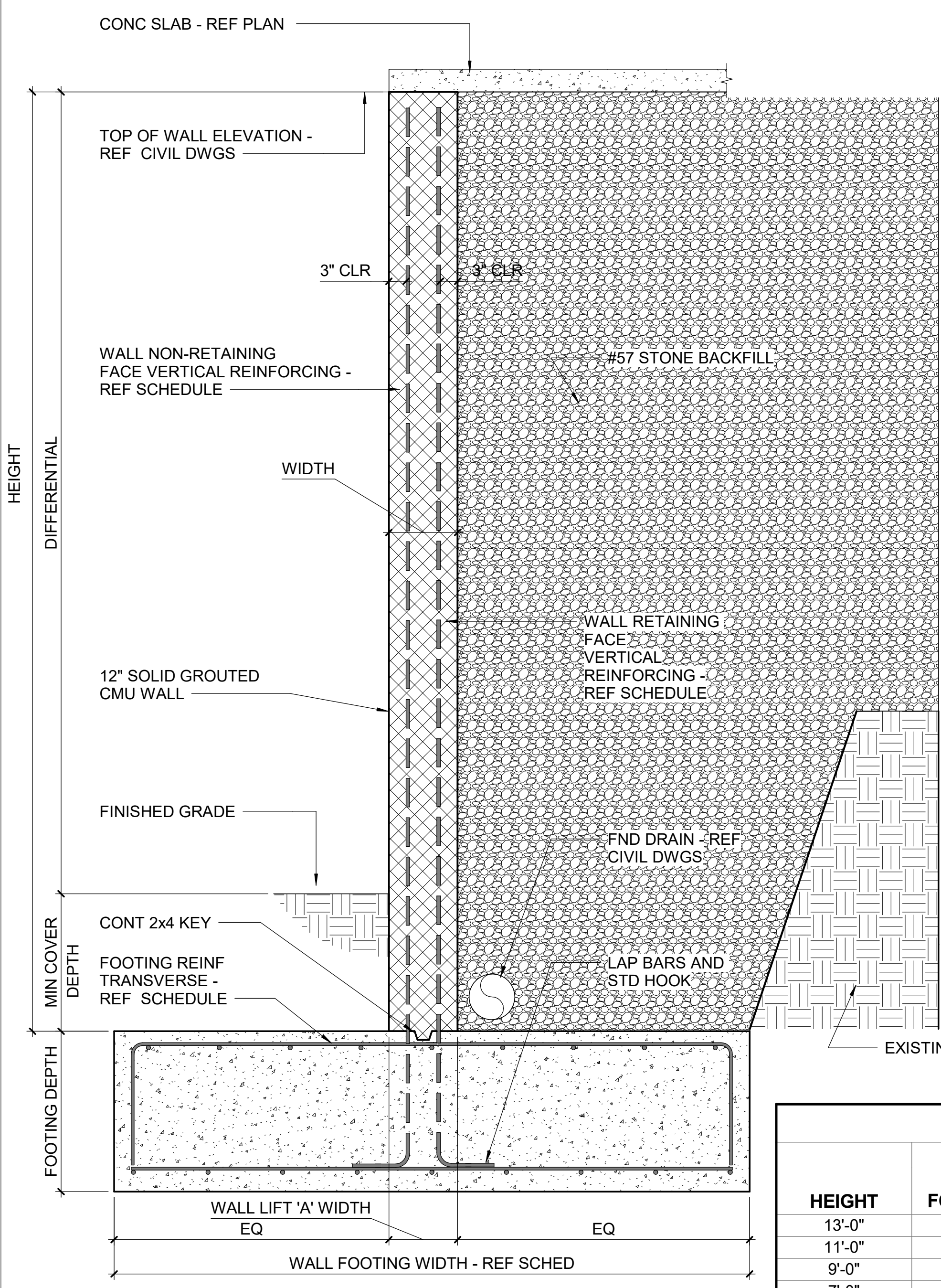
Sheet Number:  
**S102**



**1 FRAMING PLAN**  
S102 1" = 10'-0"

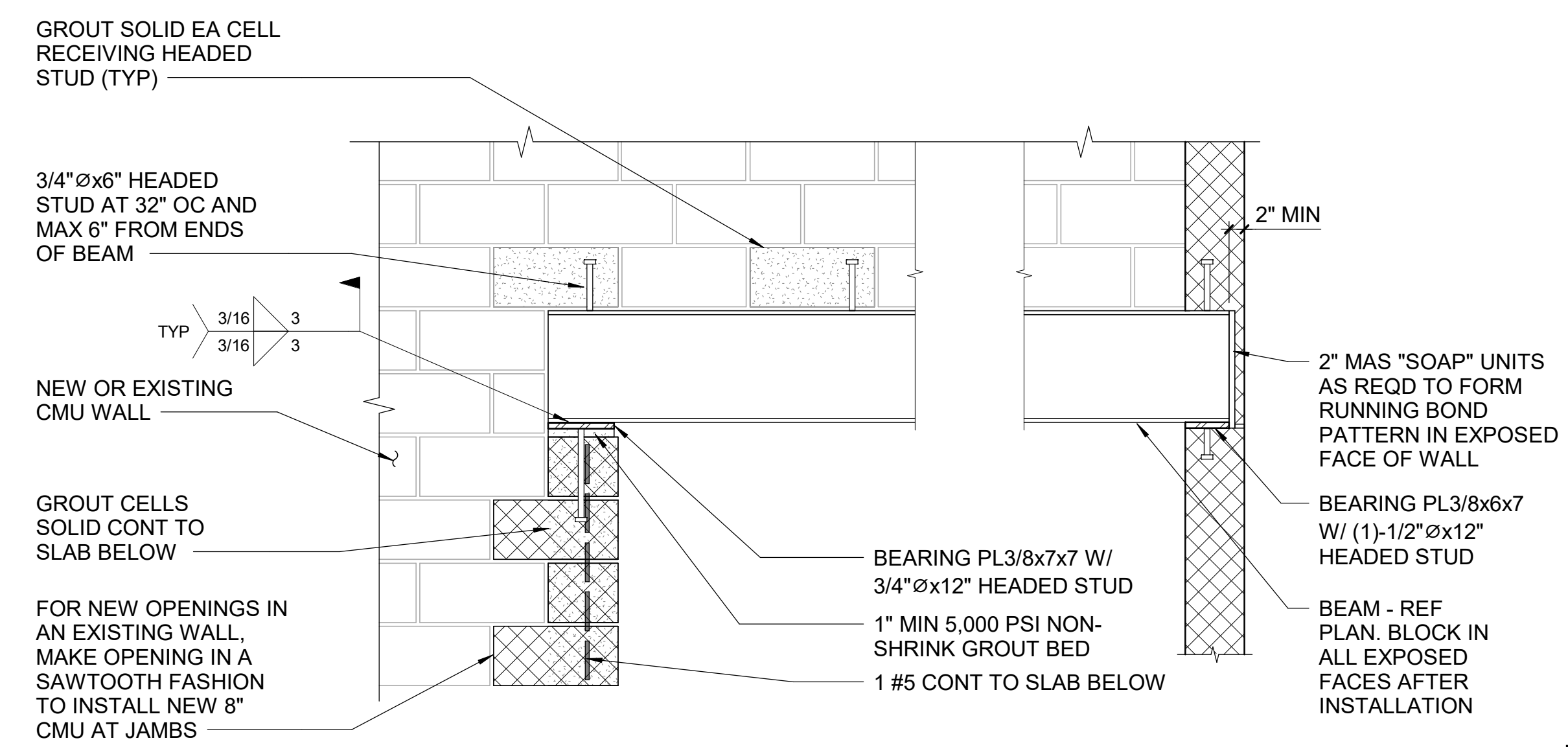
**FLOOR FRAMING PLAN KEY NOTES**

- F1 EXTEND BEAM TO BEAR MIN 6" INTO EXISTING WALL.
- F2 NEW 8" THK SOLID GROUTED CMU REINFORCED W/#5 AT 16" O.C. REF TYPICAL DETAILS FOR ATTACHMENTS TO EXISTING STRUCTURE.
- F3 NEW HEADER FOR STOREFRONT. EXTEND ENDS TO BEAR AS SHOWN IN TYPICAL DETAIL.
- F4 REMOVE EXISTING HEADER, EXISTING COLUMN, AND MASONRY ABOVE
- F5 NEW HVAC RTU TO BE ORIENTED AND CENTERED TO BEAR EVENLY OVER 2 EXISTING JOISTS BELOW.
- F6 LL4X3X5/16 SLBB ANGLE FRAMING BELOW CURBS OF NEW HVAC UNIT. 3/16" FILLET WELD ALL AROUND TO EX JOIST TOP CHORDS, TYP



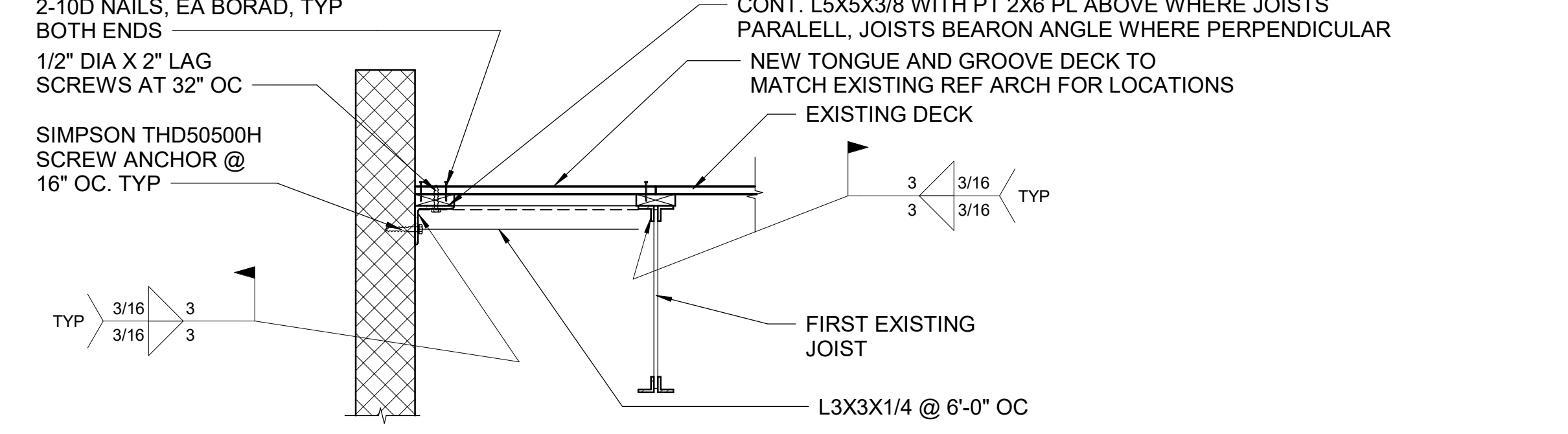
**TYPICAL PATIO RETAINING WALL DETAIL**

NTS



**TYPICAL STEEL LINTEL BEARING ON MASONRY WALL DETAIL**

NTS



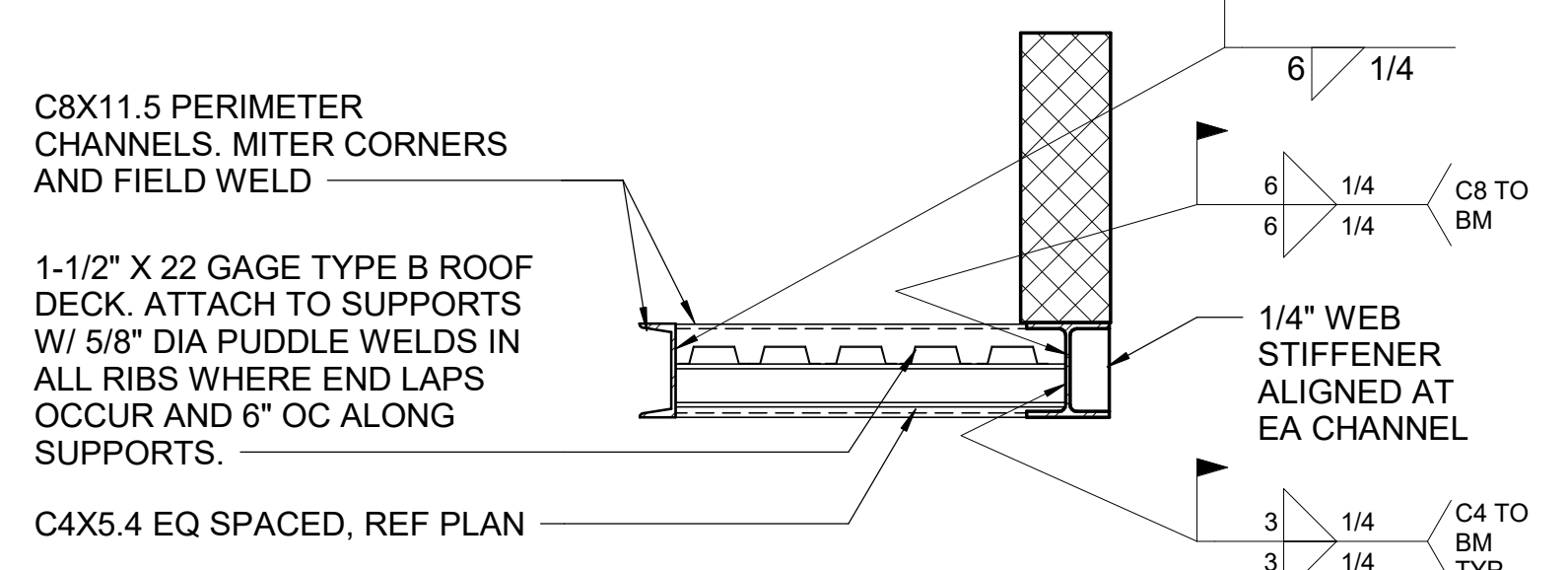
**TYPICAL CONNECTION OF NEW MASONRY WALL TO EXISTING ROOF**

NTS

HEIGHT	SITE RETAINING WALL SCHEDULE					
	WALL FOOTING	WIDTH	MIN COVER DEPTH	VERT REINF (RETAINING FACE)	VERT REINF (NON-RETAINING FACE)	
13'-0"	WF9.5	11'-5/8"	4'-0"	#9 AT 8" OC	#5 AT 16" OC	
11'-0"	WF7	11'-5/8"	2'-0"	#6 AT 8" OC	#5 AT 16" OC	
9'-0"	WF5	11'-5/8"	1'-0"	#6 AT 16" OC	#5 AT 16" OC	
7'-0"	WF4	11'-5/8"	1'-0"	#5 AT 16" OC	#5 AT 16" OC	

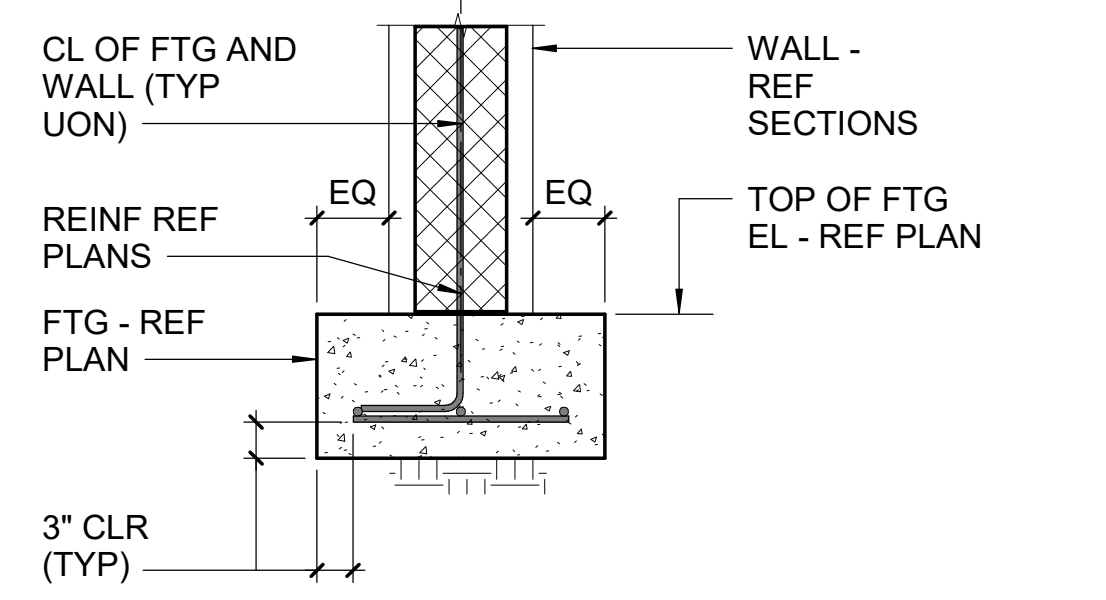
**TYPICAL NEW MASONRY WALL & ATTACHMENT**

NTS



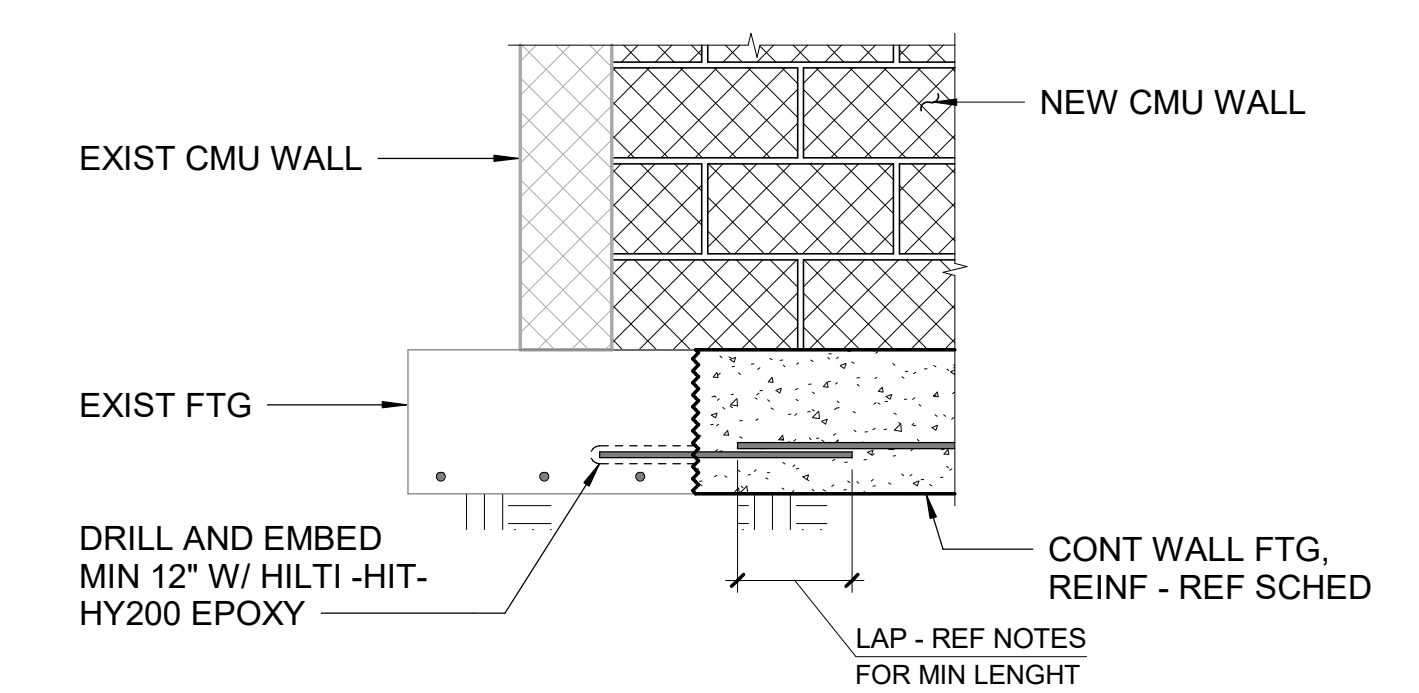
**TYPICAL NEW CANOPY**

NTS



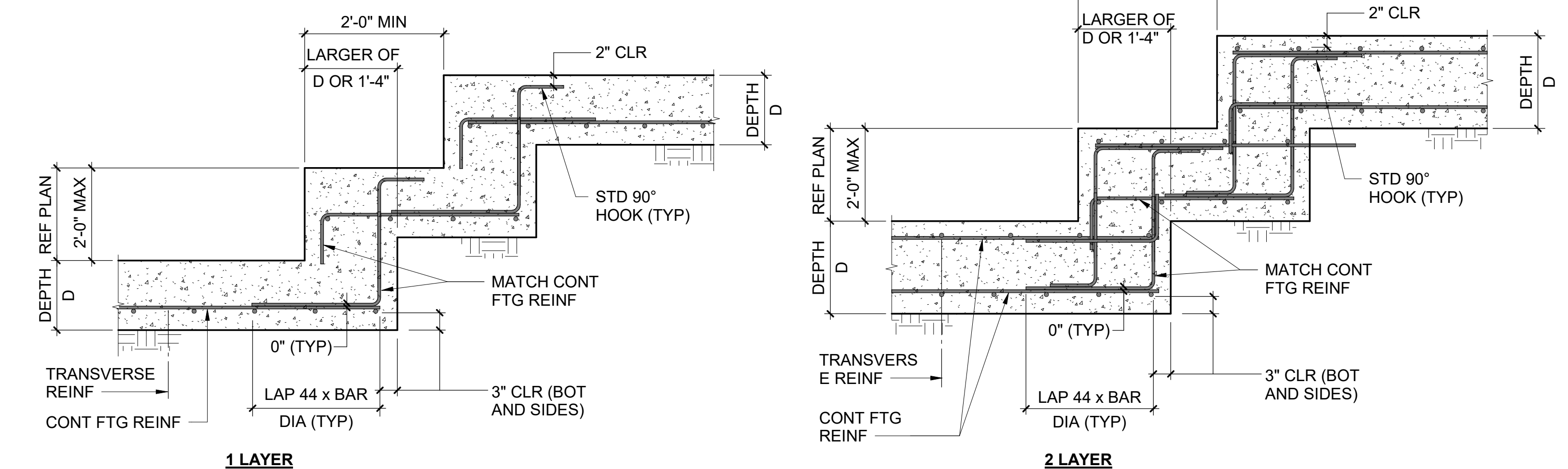
**TYPICAL WALL FOOTING DETAIL**

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**TYPICAL ATTACHMENT NEW FOOTING TO EXISTING FOOTING**

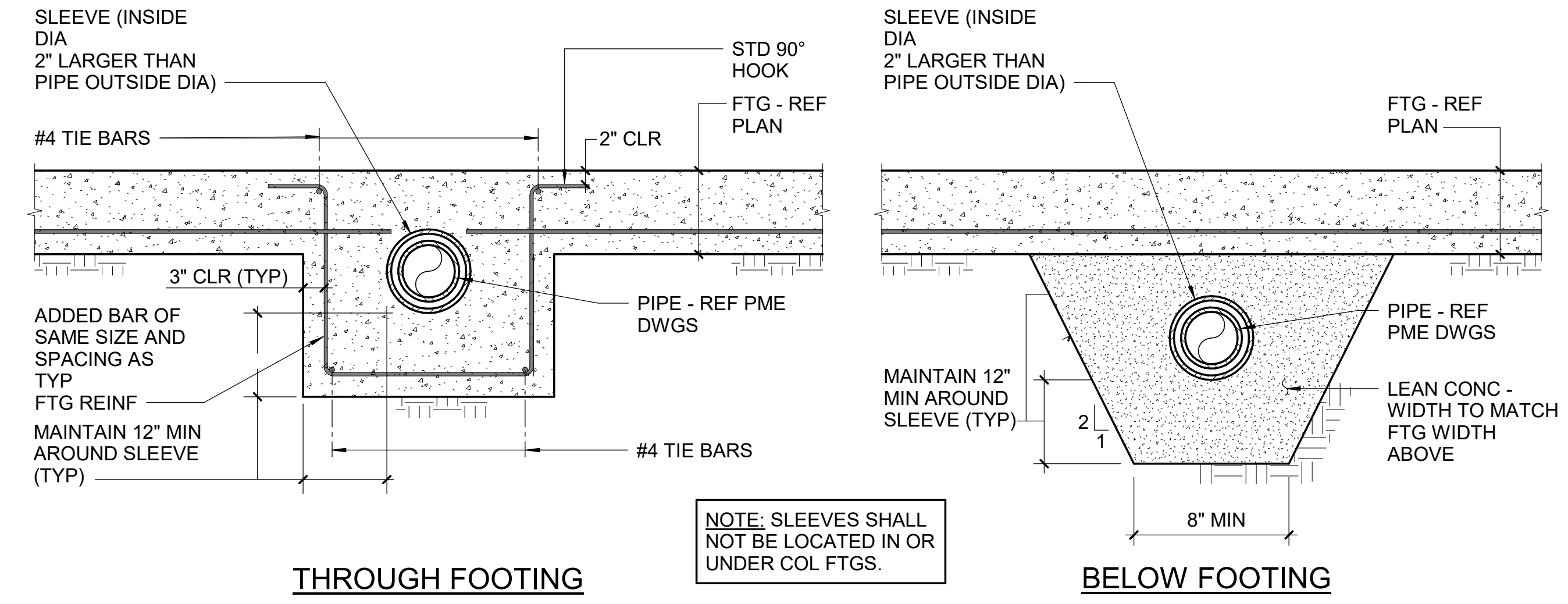
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**TYPICAL STEPPED FOOTING DETAIL**

NTS

(DENOTED SF ON PLAN)



**TYPICAL PIPE SLEEVE DETAILS**

NTS

NOTE: SLEEVES SHALL NOT BE LOCATED IN OR UNDER COL FTGS.



**STANDARDS: CMU PARTITIONS**  
(PROVIDE THESE FEATURES AT ALL CMU PARTITIONS)

- ALL CMU PARTITIONS TO EXTEND TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE.
- FIRE RATING FOR CONCRETE MASONRY UNITS MAY BE BASED ON THE EQUIVALENT THICKNESS METHOD PER IBC CHAPTER 7 AND NOMA.
- ALL CMU TO BE LIGHTWEIGHT UNLESS OTHERWISE INDICATED.
- PROVIDE ACOUSTIC SEALANT & BACKER ROD AT ALL NON RATED PARTITIONS.
- PROVIDE FIRE RESISTANT JOINT SYSTEM - REFER TO SPECIFICATIONS FOR UL DESIGN.

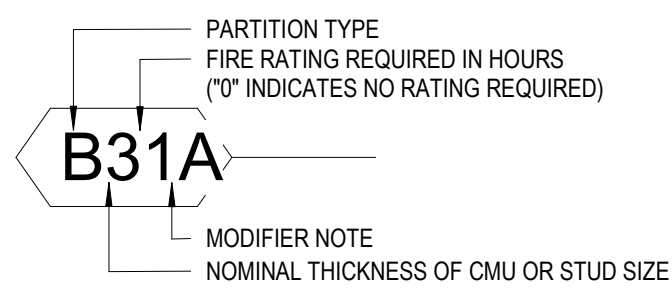
**STANDARDS: GYPSUM BOARD PARTITIONS**  
(PROVIDE THESE FEATURES AT ALL GYPSUM BOARD & METAL STUD PARTITIONS)

- PROVIDE TYPE "X" GYPSUM BOARD AT ALL FIRE RATED GYPSUM BOARD AND METAL STUD PARTITIONS
- SPACE STUDS AT 16" O.C. MAX. UNLESS OTHERWISE INDICATED
- GYPSUM BOARD SHALL BE 5/8" THICK UNLESS OTHERWISE INDICATED
- METAL STUDS AND ALL LAYERS OF GYPSUM BOARD ARE TO EXTEND TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE UOI
- PROVIDE MOLD & MOISTURE RESISTANT GYPSUM BOARD BEHIND ALL CERAMIC TILE WAJNSCOTS AND FULL HEIGHT CERAMIC TILE WALLS UNLESS OTHERWISE INDICATED.
- PROVIDE SAG RESISTANT GYPSUM BOARD AT ALL INTERIOR CEILING APPLICATIONS UNLESS OTHERWISE INDICATED.
- PROVIDE SOUND ATTENUATION BLANKETS FULL THICKNESS OF STUD UNLESS OTHERWISE INDICATED
- PROVIDE ACOUSTICAL SEALANT AT ALL NON RATED PARTITIONS.
- PROVIDE FIRE RESISTANT JOINT SYSTEM - REFER TO SPECIFICATIONS FOR U.L. DESIGN.

**MODIFIER NOTES**  
(PROVIDE THESE FEATURES WHERE NOTED WHERE NOTED IN PARTITION KEY)

- PROVIDE 1 1/2" SOUND ATTENUATION BLANKET.
- TERMINATE GYP BOARD 3" ABOVE CEILING INSTEAD OF EXTENDING FULL HEIGHT.
- FACE LAYER TO BE MOISTURE RESISTANT GYP BRD.
- PROVIDE SOUND ATTENUATION BLANKET FULL THICKNESS OF STUD.
- PROVIDE ABUSE RESISTANT GYP BRD INSTEAD OF REGULAR OR TYPE "X".
- PROVIDE CEMENT BACKER BOARD INSTEAD OF GYP BRD.
- PROVIDE EXTRA LAYER OF GWB ON EXPOSED SIDE AND SOUND ATTENUATION BLANKET FULL THICKNESS OF STUD.
- CERAMIC TILE ON CEMENT BACKER BOARD
- PARTITION TERMINATES AT UNDERSIDE OF CEILING

**KEY TO PARTITION TYPE SCHEDULE**



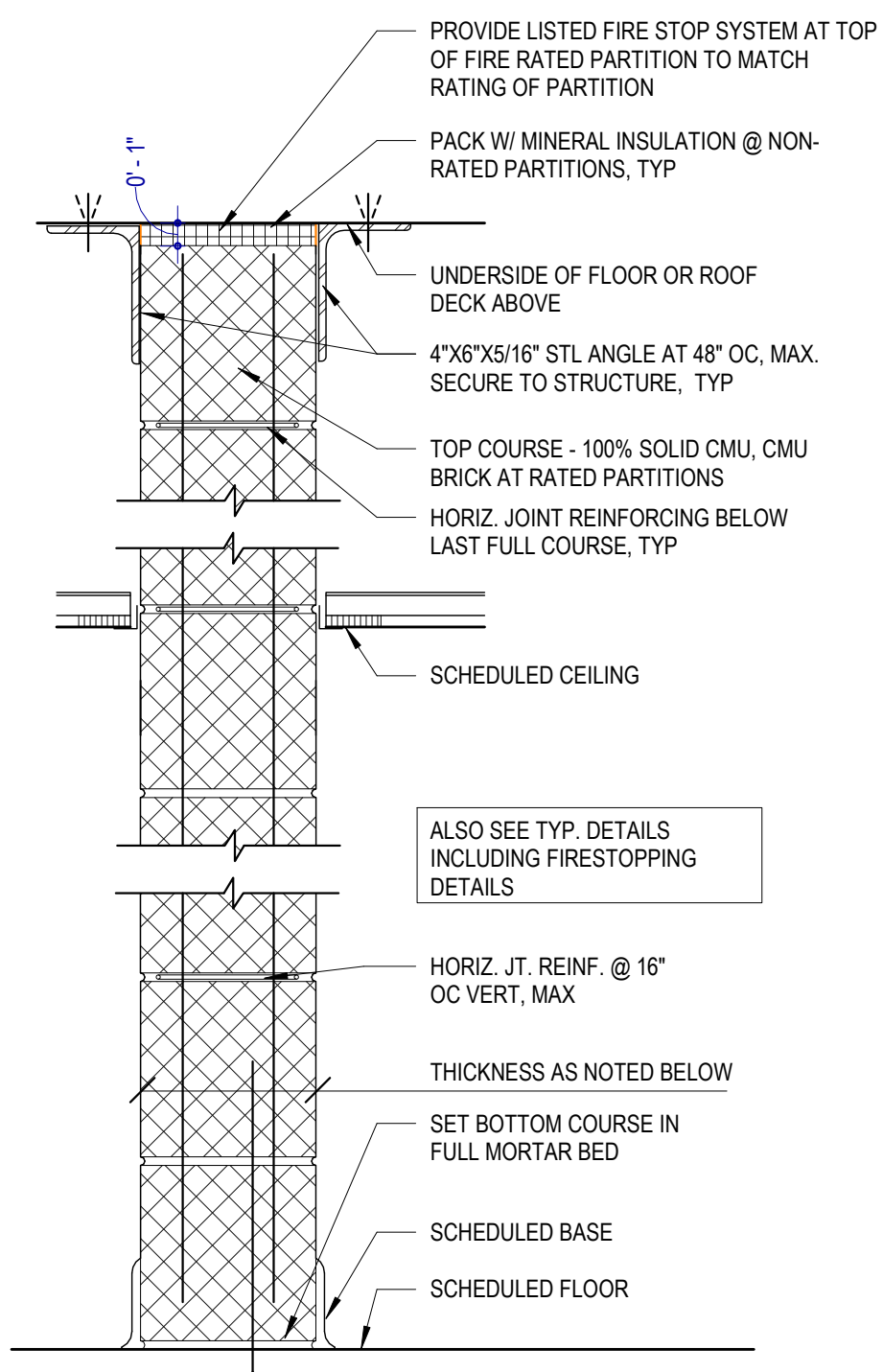
- PARTITION TYPE:**
- GYP BRD - 1 LAYER, 1SIDE
  - GYP BRD - 1 LAYER EACH SIDE
  - GYP BRD - 1 LAYER ONE SIDE, 2 LAYERS OTHER SIDE
  - GYP BRD - 2 LAYERS EACH SIDE
  - CMU
  - PLUMBING CHASE - GYP BRD
  - GYPSUM SHAFTWALL
  - EXTERIOR FURRING - GYP BRD
  - Z' FURRING

- FOR STUD WALLS STUD SIZE IS INDICATED AS FOLLOWS:**
- 1 5/8" STUD
  - 2 1/2" STUD
  - 3 5/8" STUD
  - 4" STUD
  - 1/2" RESILIENT FURRING CHANNELS
  - 6" STUD
  - 7/8" HAT SHAPED FURRING CHANNELS
  - 8" STUD

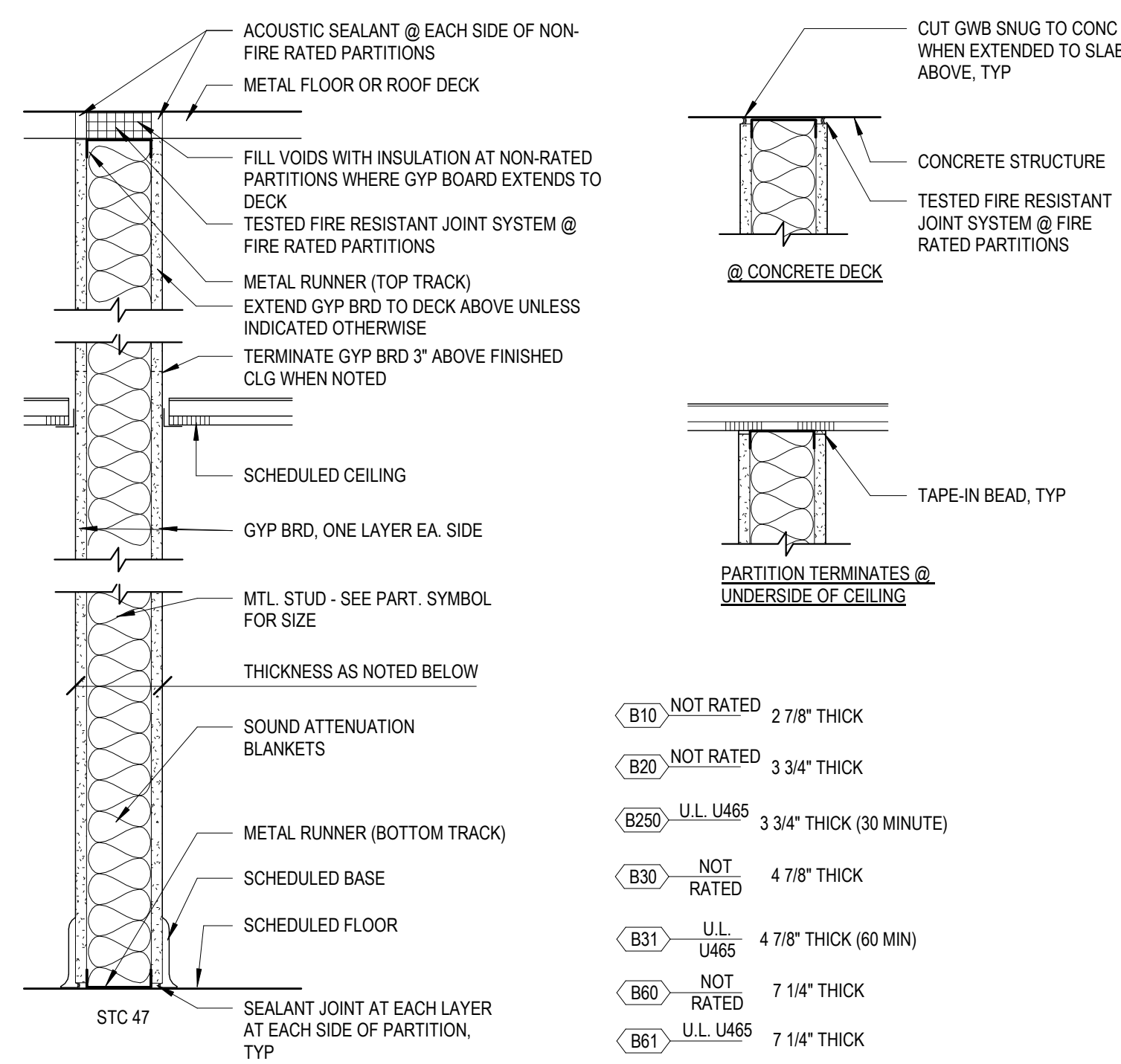
- FOR CMU WALLS THICKNESS IS INDICATED AS FOLLOWS:**
- 3 5/8" CMU
  - 9 5/8" CMU
  - 5 5/8" CMU
  - 11 5/8" CMU
  - 7 5/8" CMU

- FOR SHAFT WALLS STUD SIZE IS INDICATED AS FOLLOWS:**
- 2 - 2 1/2" CH OR 1" STUD
  - 4 - 4" CH OR 1" STUD

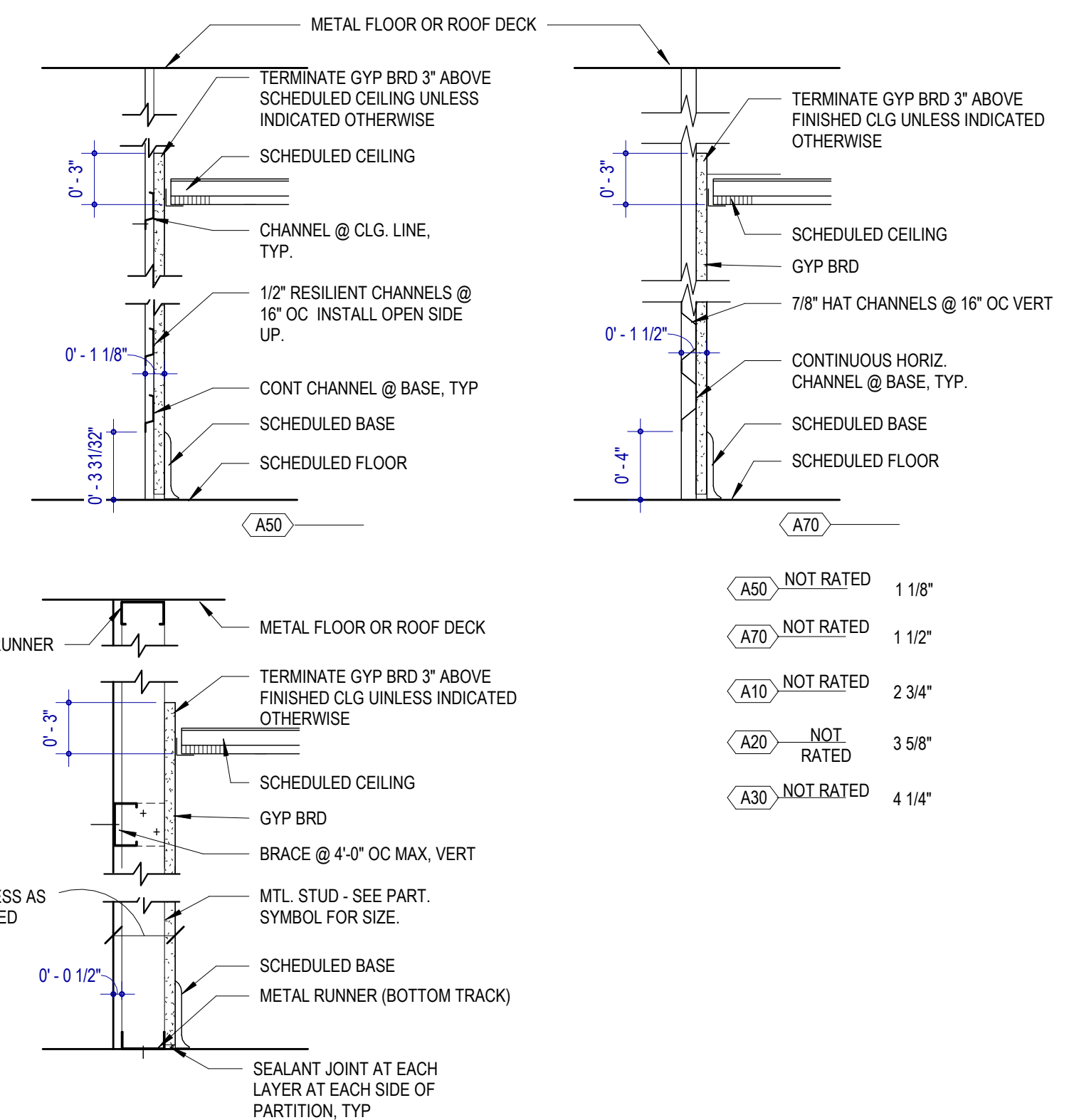
- FIRE RATING REQUIRED IN HOURS:**
- NO RATING REQUIRED
  - 1 HOUR (60 MINUTES)
  - 2 HOURS (120 MINUTES)
  - 1/2 HOUR (30 MINUTES)



- E40 NOT RATED 3 5/8" THICK
- E60 NOT RATED 5 5/8" THICK
- E62 U.L. U906 5 5/8" THICK
- E80 NOT RATED 7 5/8" THICK
- E81 U.L. U906 7 5/8" THICK
- E82 U.L. U906 7 5/8" THICK
- E12 U.L. U906 11 5/8" THICK



- B10 NOT RATED 2 7/8" THICK
- B20 NOT RATED 3 3/4" THICK
- B250 U.L. U465 3 3/4" THICK (30 MINUTE)
- B30 NOT RATED 4 7/8" THICK
- B31 U.L. U465 4 7/8" THICK (60 MIN)
- B60 NOT RATED 7 1/4" THICK
- B61 U.L. U465 7 1/4" THICK



- A50 NOT RATED 1 1/8"
- A70 NOT RATED 1 1/2"
- A10 NOT RATED 2 3/4"
- A20 NOT RATED 3 5/8"
- A30 NOT RATED 4 1/4"

**GENERAL NOTES**

- EXISTING CONDITIONS NOTED ARE AS OF SURVEY. VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. RESOLVE ANY DISCREPANCY BETWEEN CONSTRUCTION DOCUMENTS AND ACTUAL CONDITIONS WITH THE ARCHITECT. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. ANY DISCREPANCY BETWEEN CONSTRUCTION DOCUMENTS AND ACTUAL CONDITIONS SHALL BE COORDINATED AND RESOLVED BY THE CONTR.
- DO NOT SCALE THE DRAWINGS. DIRECT DIMENSIONAL DISCREPANCIES AND QUESTIONS TO THE ARCHITECT. CENTER PARTITIONS ON COLUMNS OR MULLIONS UNLESS OTHERWISE NOTED, OR USE 'EQUAL/EQUAL' AND ALIGN SURFACES TO LOCATE PARTITIONS. OBTAIN DIRECTION BEFORE PROCEEDING WITH THE WORK.
- INSTALL ALL OWNER FURNISHED EQUIPMENT ACCORDING TO MANUFACTURERS' INSTRUCTIONS.
- FULLY COORDINATE ALL ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL AND STRUCTURAL WORK.
- LOCATE ALL EXISTING UTILITIES AND SERVICES PRIOR TO START OF WORK.
- PROTECT FROM DAMAGE ALL ADJACENT AREAS AND PROPERTIES, SUCH AS LANDSCAPING AND EXTERIOR & INTERIOR BUILDING SURFACES.
- RESTORE ALL EXISTING WORK AFFECTED BY THESE CONTRACT DOCUMENTS TO MATCH EXISTING CONDITIONS.
- ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD TO FACE OF STUD UNLESS OTHERWISE NOTED. MASONRY WALLS WHICH ARE DIMENSIONED FACE OF MASONRY TO FACE OF MASONRY. FIELD VERIFY ALL DIMENSIONS. DIMENSIONS NOTED "CLEAR" ARE NOT TO BE ADJUSTED WITHOUT APPROVAL OF ARCHITECT. ALL DIMENSIONS ARE IN FEET AND INCHES.
- CONTRACTOR IS RESPONSIBLE TO INSTALL ALL FINISHES AND SYSTEMS IN ACCORDANCE WITH MANUFACTURERS TECHNICAL SPECIFICATIONS.
- ITEMS OF SALVAGEABLE VALUE SHALL REMAIN THE PROPERTY OF THE OWNER.
- CHALK LINE ALL PARTITIONS FOR REVIEW AND APPROVAL BY OWNER PRIOR TO COMMENCEMENT OF MASONRY AND STUD INTERIOR PARTITIONS. ANY EXISTING FIELD CONDITIONS SHALL IMMEDIATELY BE COORDINATED W/ THE ARCHITECT AND CONSTRUCTION MANAGER.
- VERIFY LEVELNESS OF ALL SUB-FLOORS PRIOR TO INSTALLATION OF FINISH FLOOR MATERIALS
- PROVIDE CONTINUOUS WOOD OR METAL BLOCKING AS REQUIRED FOR ATTACHMENT OF ALL WALL MOUNTED EQUIPMENT, TOILET ACCESSORIES AND GRAB BARS, CABINETS, SHELVING, WALL MOUNTED HAND RAILS, WOOD BASE AND MOULDINGS.
- PROVIDE 3/4" FRT PLYWOOD AT ALL ELECTRICAL AND TELEPHONE CLOSETS. REFER TO ELECTRICAL AND TELECOM DRAWINGS FOR EXACT LOCATIONS.
- UNLESS OTHERWISE SPECIFIED, PAINT ALL ACCESS DOORS TO MATCH ADJACENT WALL COLOR.
- REFER TO THE PLUMBING DRAWINGS FOR LOCATION OF ALL FLOOR DRAINS.
- PROVIDE FIRESTOPPING SYSTEMS TO MEET THE MINIMUM FIRE RESISTANCE RATING OF FLOOR OR WALL ELEMENT PENETRATED AND AROUND BUILDING SERVICE EQUIPMENT THAT PASSES THROUGH FIRE RATED CONSTRUCTION. FOR NON-FIRE RATED FLOORS PROVIDE SYSTEM FOR RATED FLOOR.
- PAINT ALL DOOR AND WINDOW STEEL LINTELS.
- PROVIDE CONTROL JOINTS AT NEW INTERIOR CONCRETE MASONRY UNIT PARTITIONS AT 25'-0" ON CENTER MAXIMUM.
- PROVIDE CONTROL JOINTS AT 30'-0" O.C. MAXIMUM FOR ALL GWB WALLS AND AT 50 FOOT O.C. MAXIMUM, WITH AREAS NOT TO EXCEED 2,500 SQ. FT. FOR ALL CEILINGS, UNLESS OTHERWISE SHOWN ON DRAWINGS.
- PROVIDE 4" FROM CLEAR FACE OF DOOR JAMB TO ADJACENT PERPENDICULAR WALL CONSTRUCTION, UNLESS OTHERWISE NOTED.
- DURING CONSTRUCTION, ALTERATION AND DEMOLITION, COMPLY WITH THE REQUIREMENTS OF THE IFC 2015 (INTERNATIONAL FIRE CODE) CHAPTER 14. (FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION.)
- DURING CONSTRUCTION, ALTERATION AND DEMOLITION, COMPLY WITH THE REQUIREMENTS OF THE IFC CHAPTER 3, SECTION 307 AND 308 (OPEN BURNING AND OPEN FLAMES).
- PARTITION TYPES ARE REFERENCED ON THE CONSTRUCTION PLANS AND ARE DESCRIBED ON DRAWING A000
- EXTERIOR WALL TYPES ARE EXISTING UNLESS OTHERWISE NOTED

Partition Type Notes  
1" = 1'-0"

4

Partition Type 'E' - CMU  
1 1/2" = 1'-0"

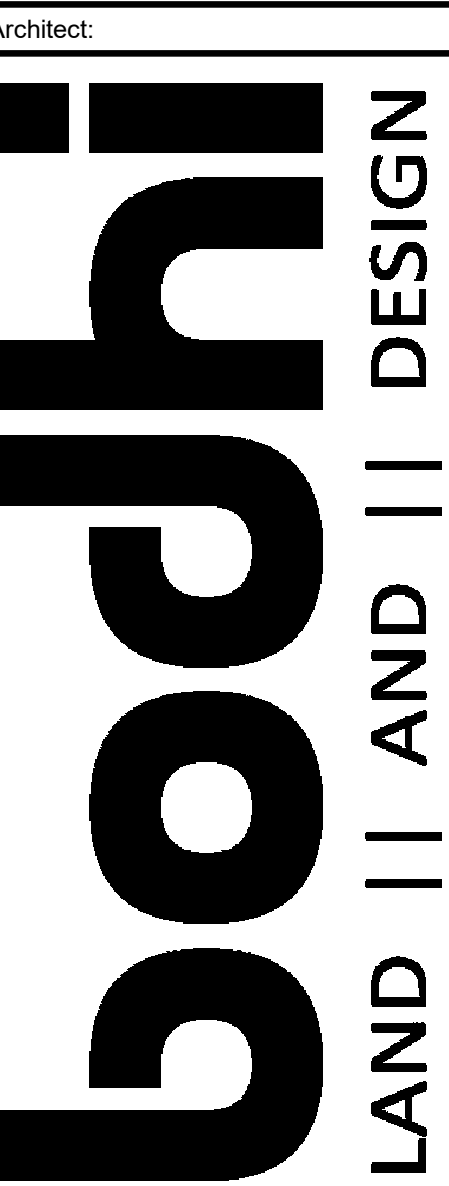
3

Partition Type 'B' - Gypsum Board  
1 1/2" = 1'-0"

2

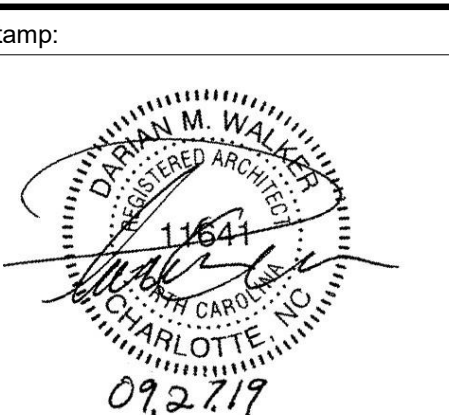
Partition Type 'A' - Furred Gypsum Board  
1 1/2" = 1'-0"

1



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**LUCK'S CANNERY REDEVELOPMENT - PHASE I**  
Seagrove, NC 27341



Issue For:  
**CONSTRUCTION**  
Issue Date:  
09.27.2019

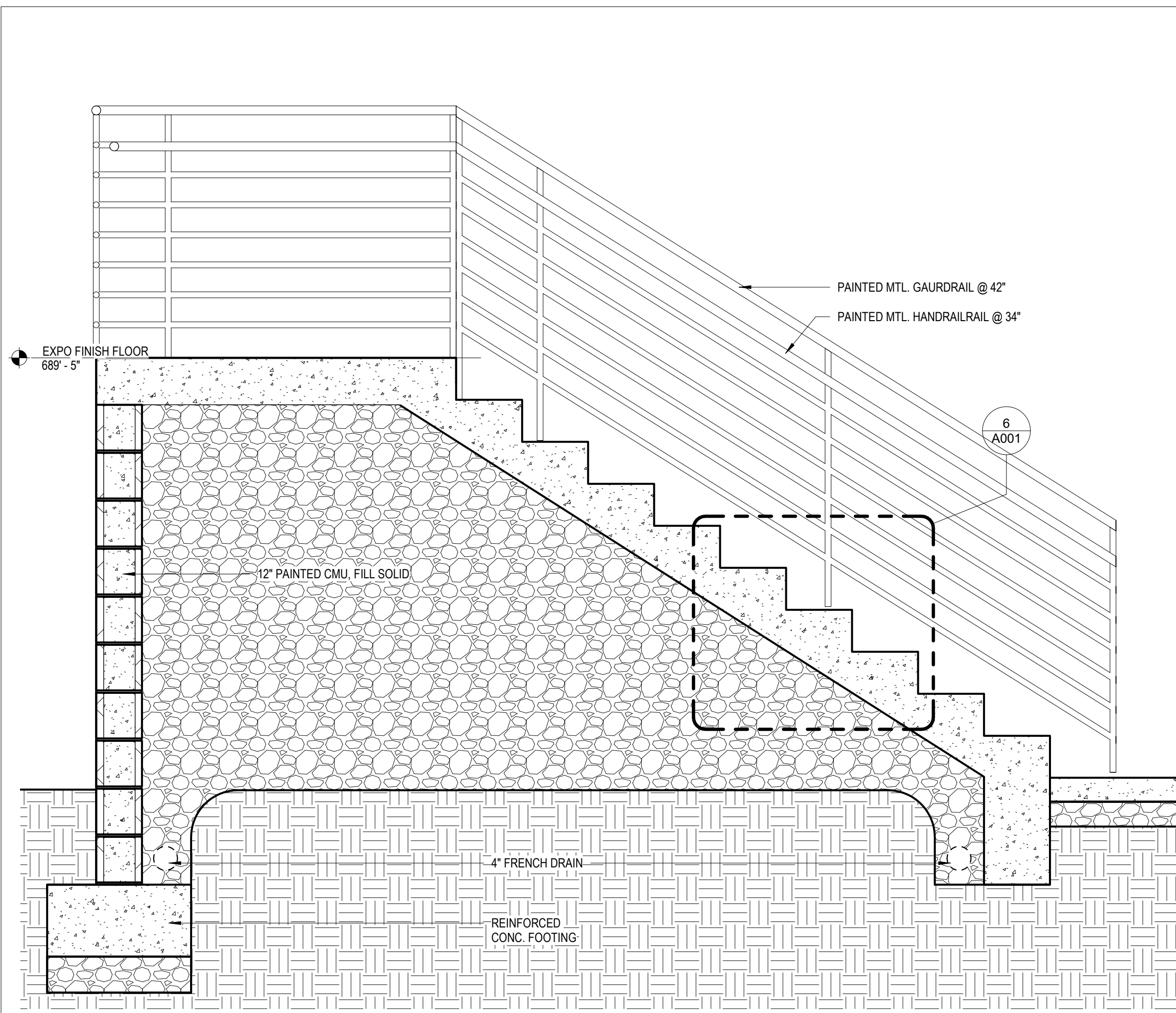
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NO.	REASON	DATE

PRINCIPAL IN CHARGE:  
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Project Address:  
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798 NC Hwy. 705 Seagrove, NC 27341

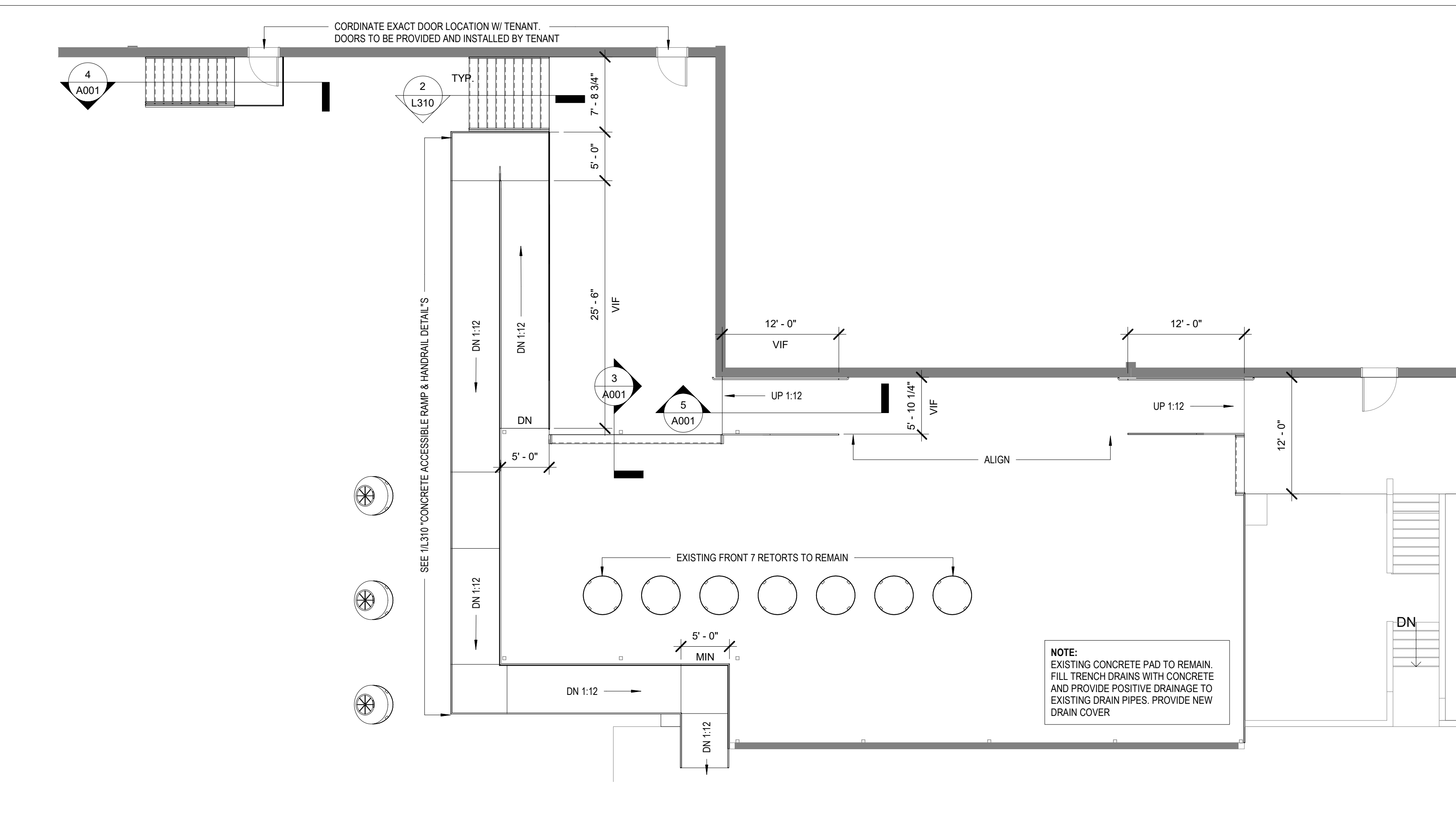
Project Number:  
201901.1

Sheet Title:  
**GENERAL NOTES & PARTITION TYPES**

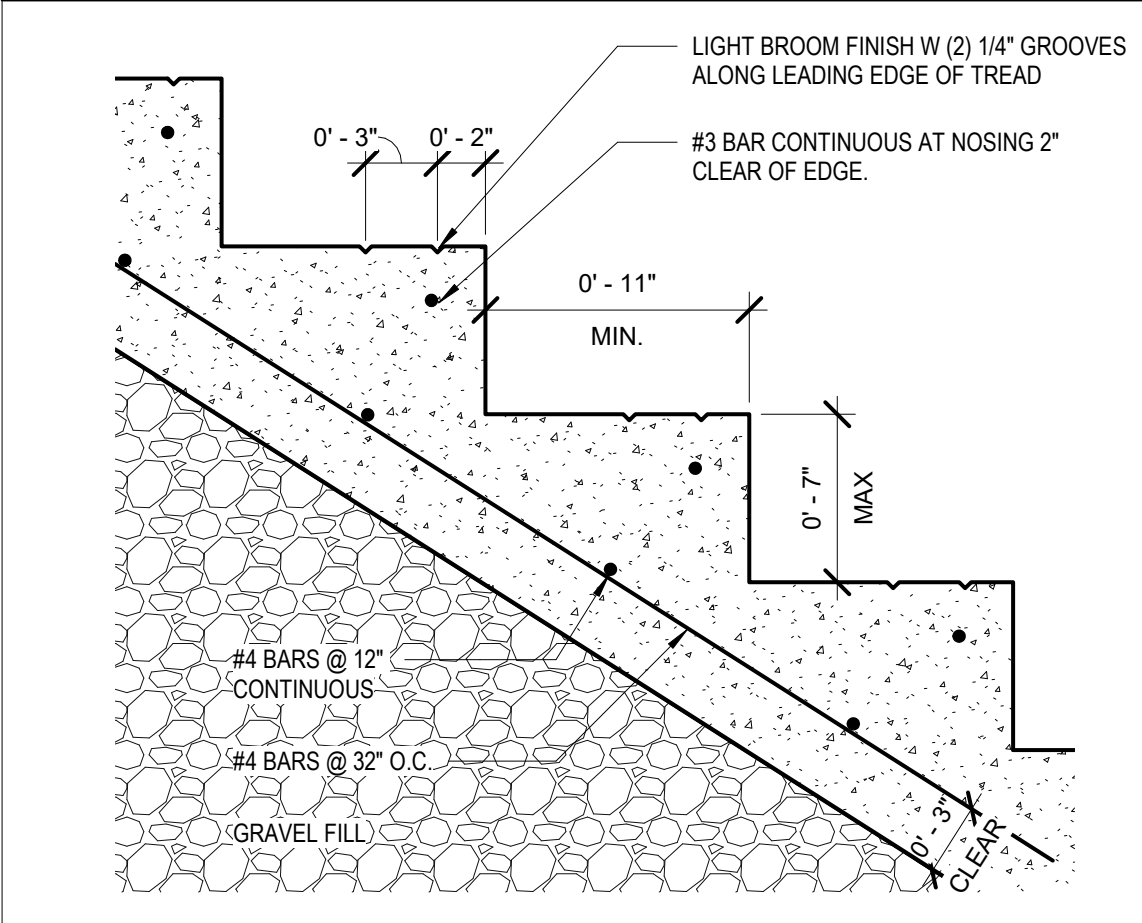
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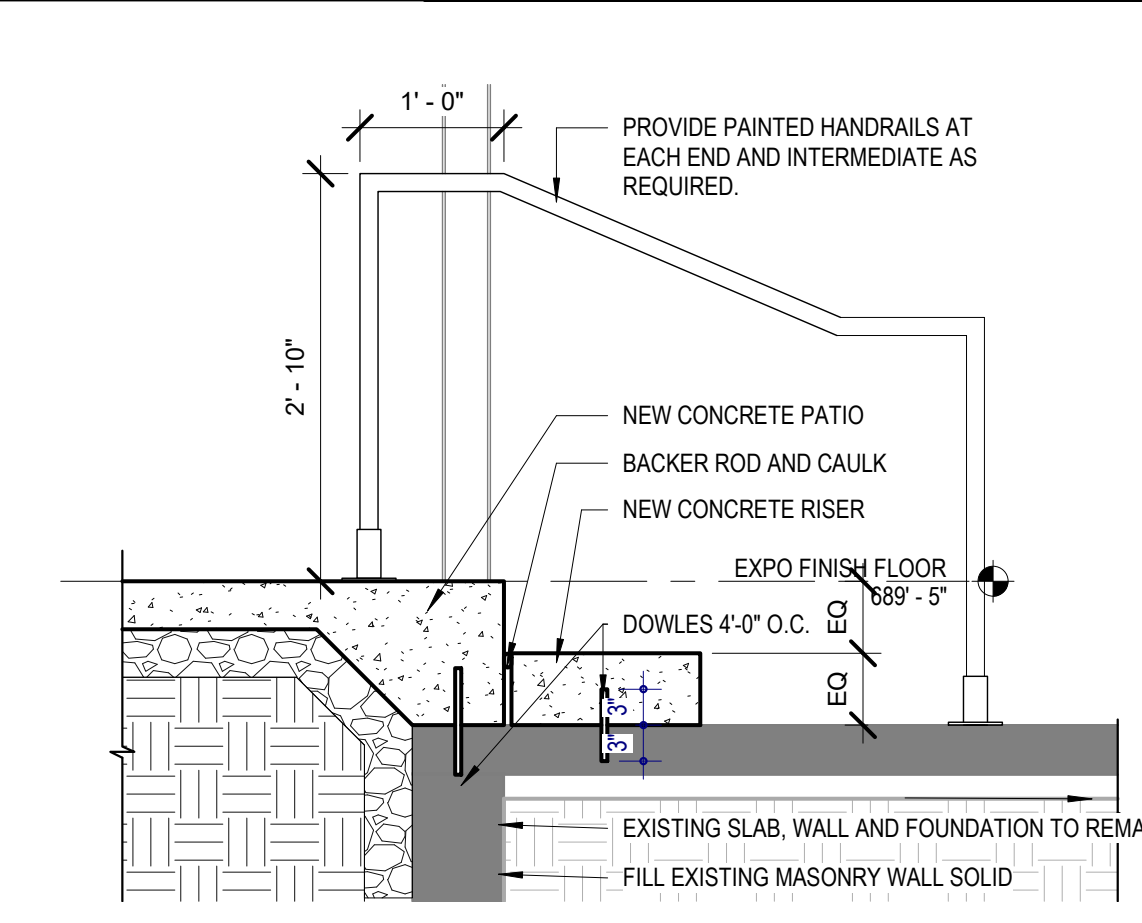
**STAIR SECTION**  
3/4" = 1'-0" **4**



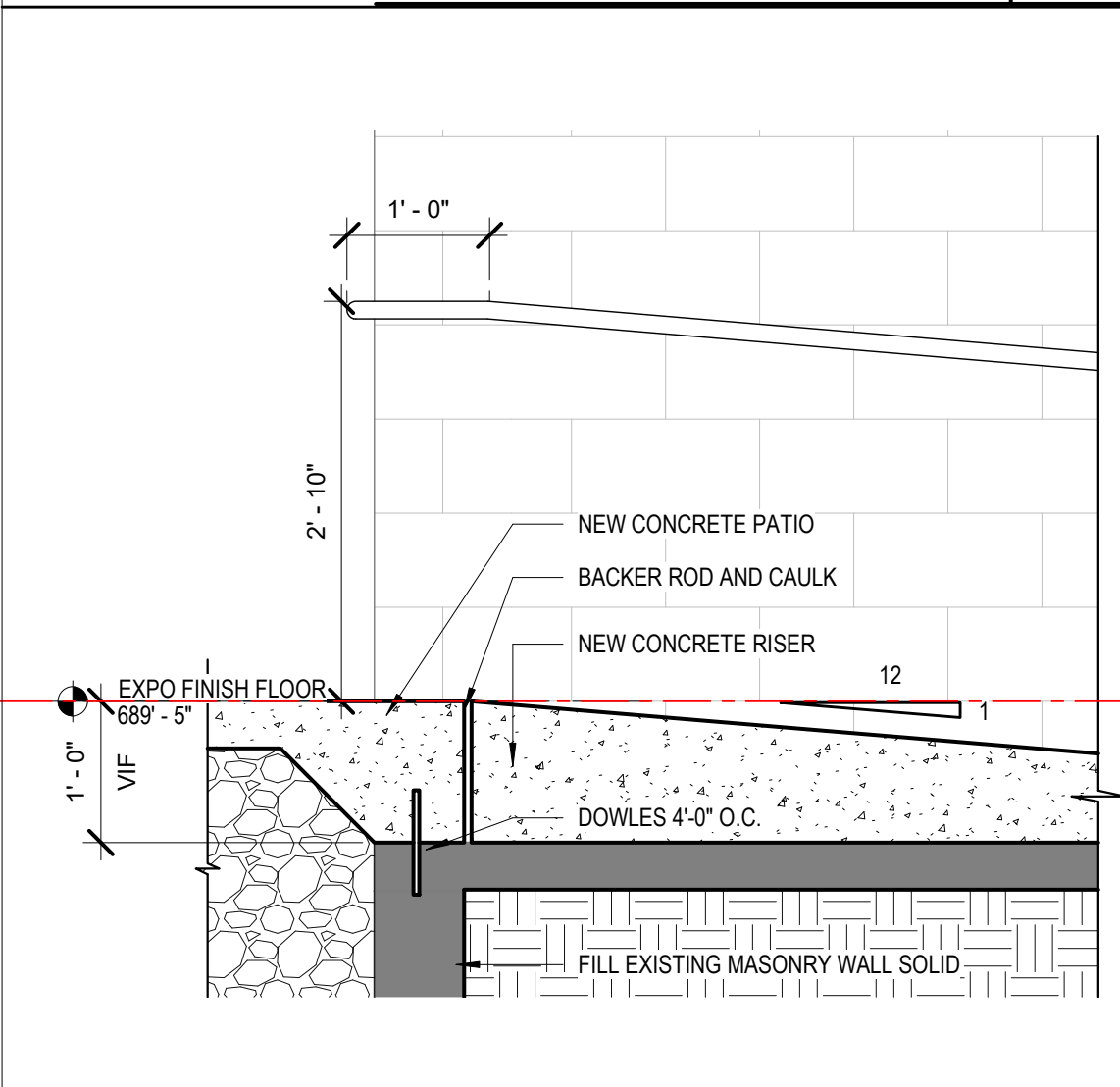
**BREWERY PATIO & RAMP (ADD ALTERNATE #1)**  
1/8" = 1'-0" **2**



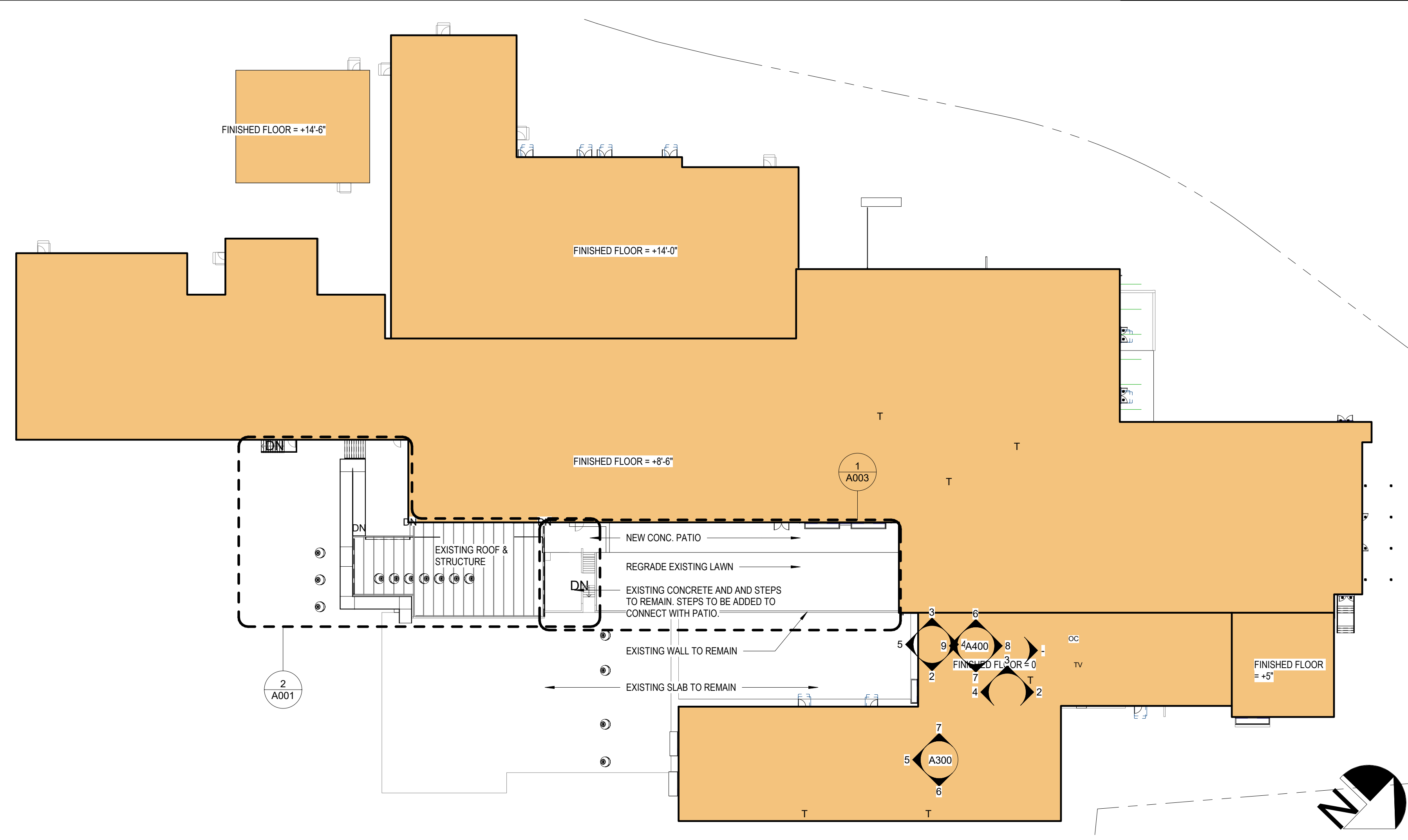
**STAIR RISER DETAIL**  
1 1/2" = 1'-0" **6**



**STEP DETAIL AT NEW PATIO**  
3/4" = 1'-0" **3**



**RAMP SECTION @ EXISTING PATIO**  
3/4" = 1'-0" **5**



**ARCHITECTURAL SITE PLAN (ADD ALTERNATE #1)**  
1" = 30'-0" **1**

Architect:

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 09.27.2019

NO.	REASON	DATE

Principal in Charge:  
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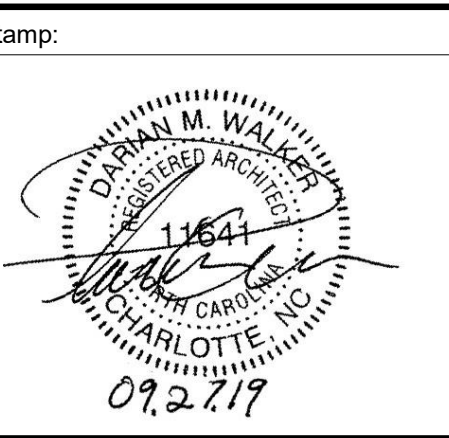
Project Address:  
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Project Number:  
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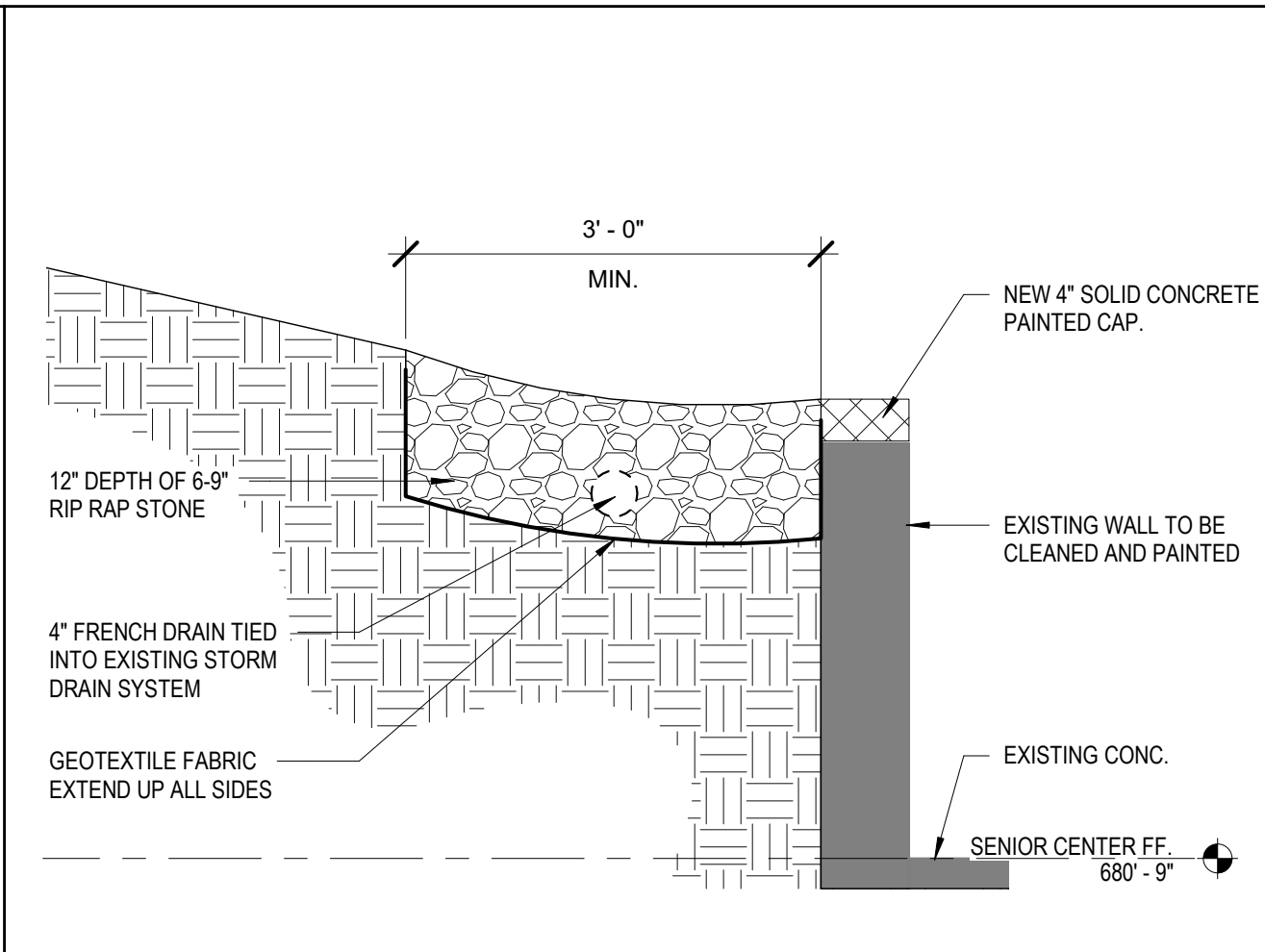
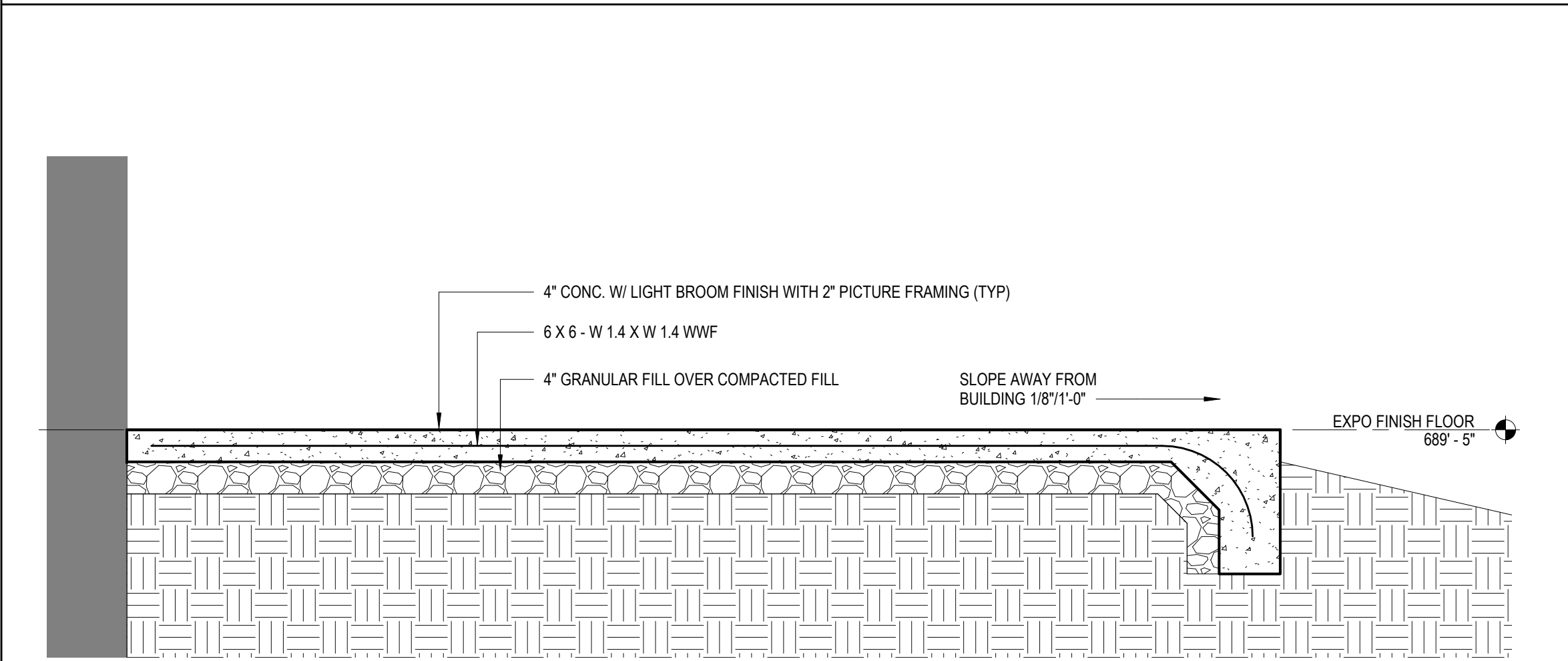
Sheet Title:  
**ARCHITECTURAL SITE PLAN (ADD ALTERNATE #1)**

Sheet Number:  
**A001**



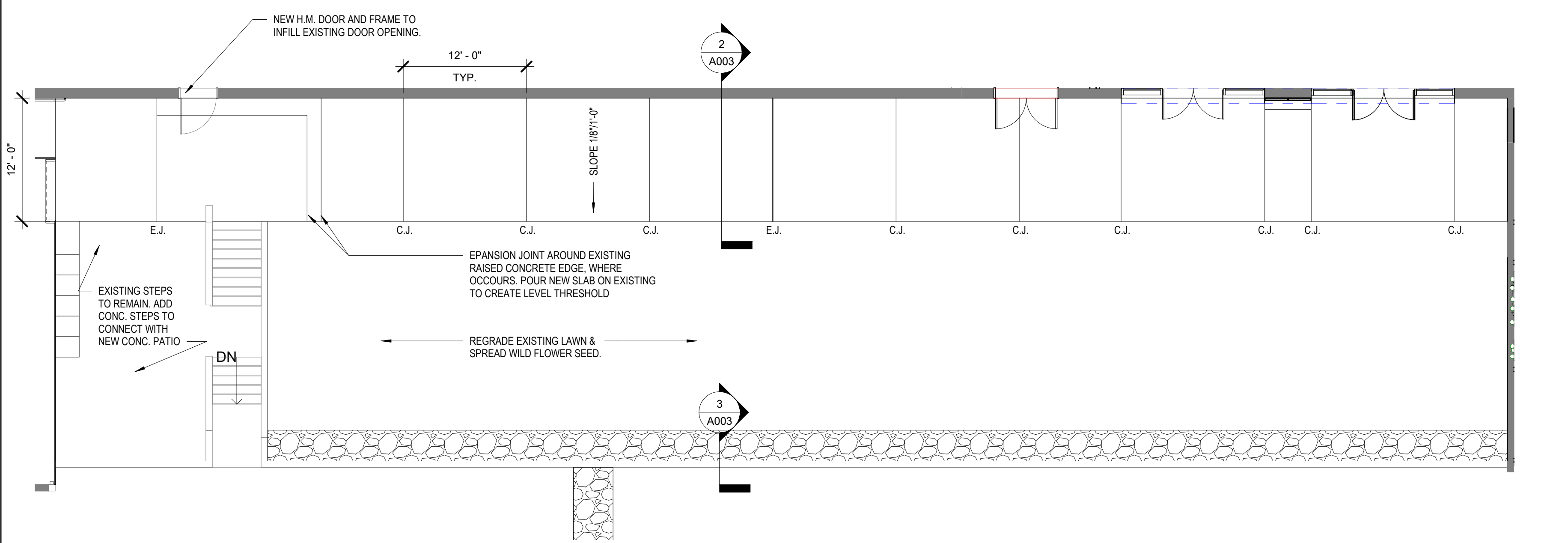
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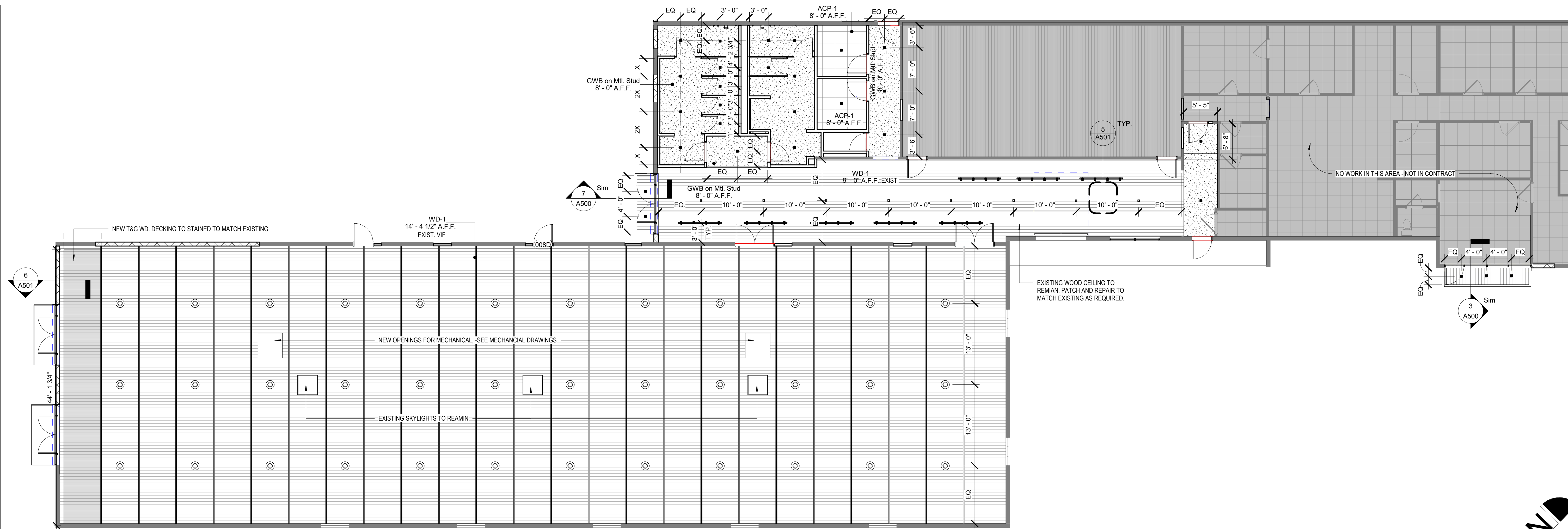


**NEW PATIO CROSS SECTION**  
 3/4" = 1'-0" 2

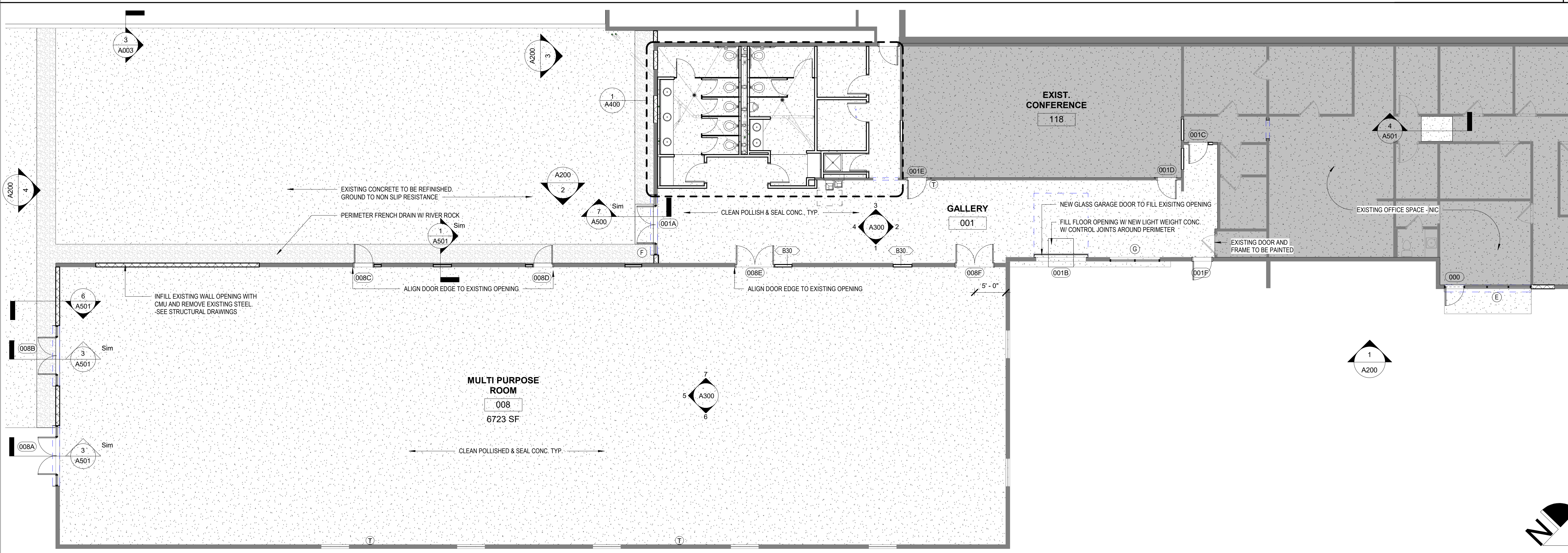
**Section 9**  
 3/4" = 1'-0" 3



**EXHIBIT PATIO PLAN**  
 1/8" = 1'-0" 1



TOWN HALL REFLECTED CEILING PLAN  
1/8" = 1'-0" 2



TOWN HALL FLOOR PLAN  
1/8" = 1'-0" 1

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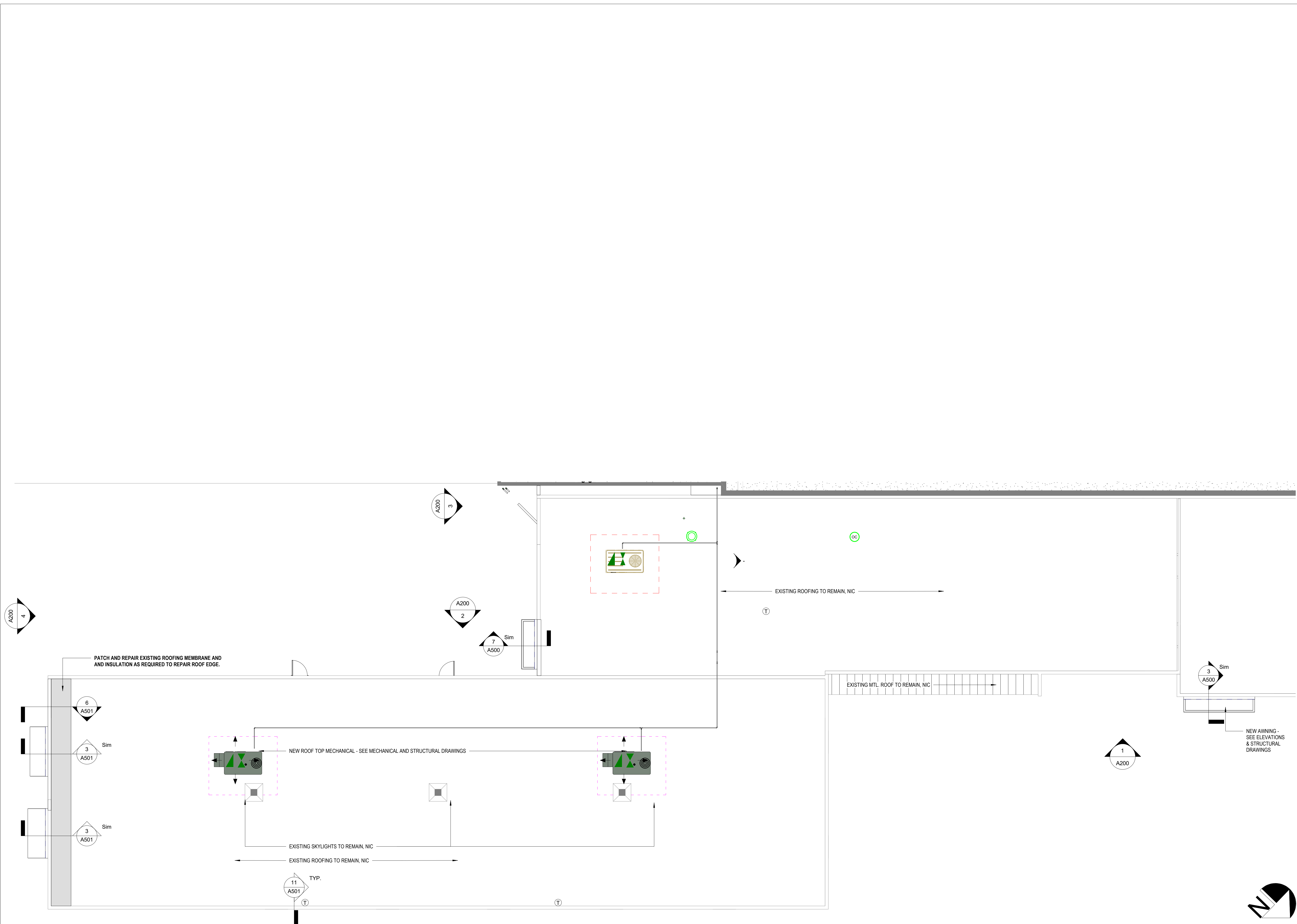
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Project Number:  
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Sheet Title:  
**TOWN HALL FLOOR PLAN & REFLECTED CEILING PLAN**

Sheet Number:  
**A100**



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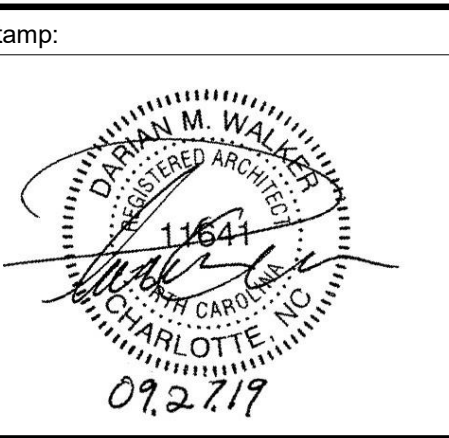
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Project Number:  
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Sheet Title:  
**TOWN HALL ROOF  
 PLAN**

Sheet Number:  
**A101**

**TOWN HALL ROOF PLAN**  
 1/8" = 1'-0" 1



Issue For:  
**CONSTRUCTION**  
 Issue Date:  
 09.27.2019

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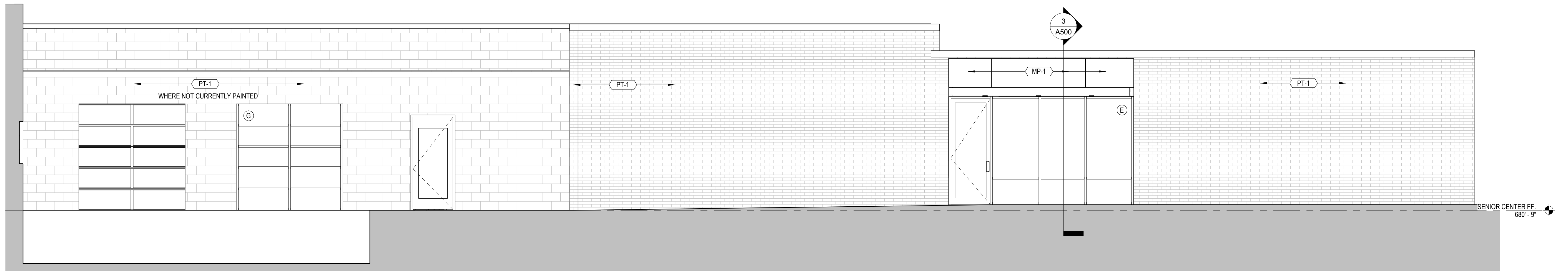
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 Project Address:  
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 PHASE IA**  
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Project Number:  
 201901.1  
 Sheet Title:

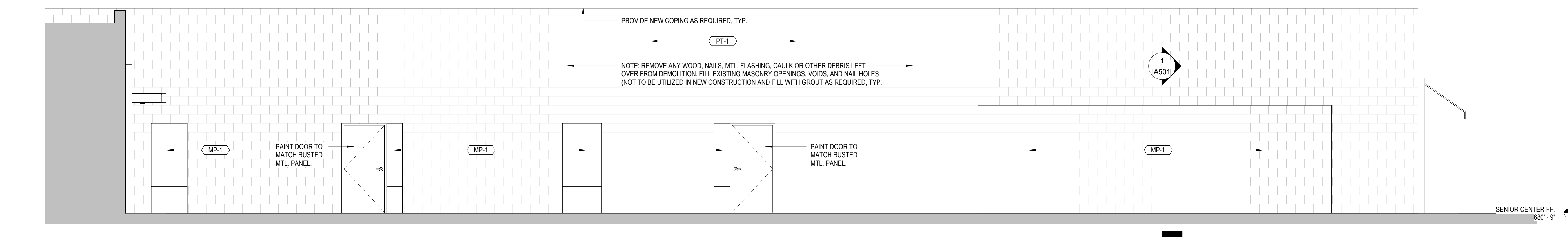
**EXTERIOR  
 ELEVATIONS**

Sheet Number:

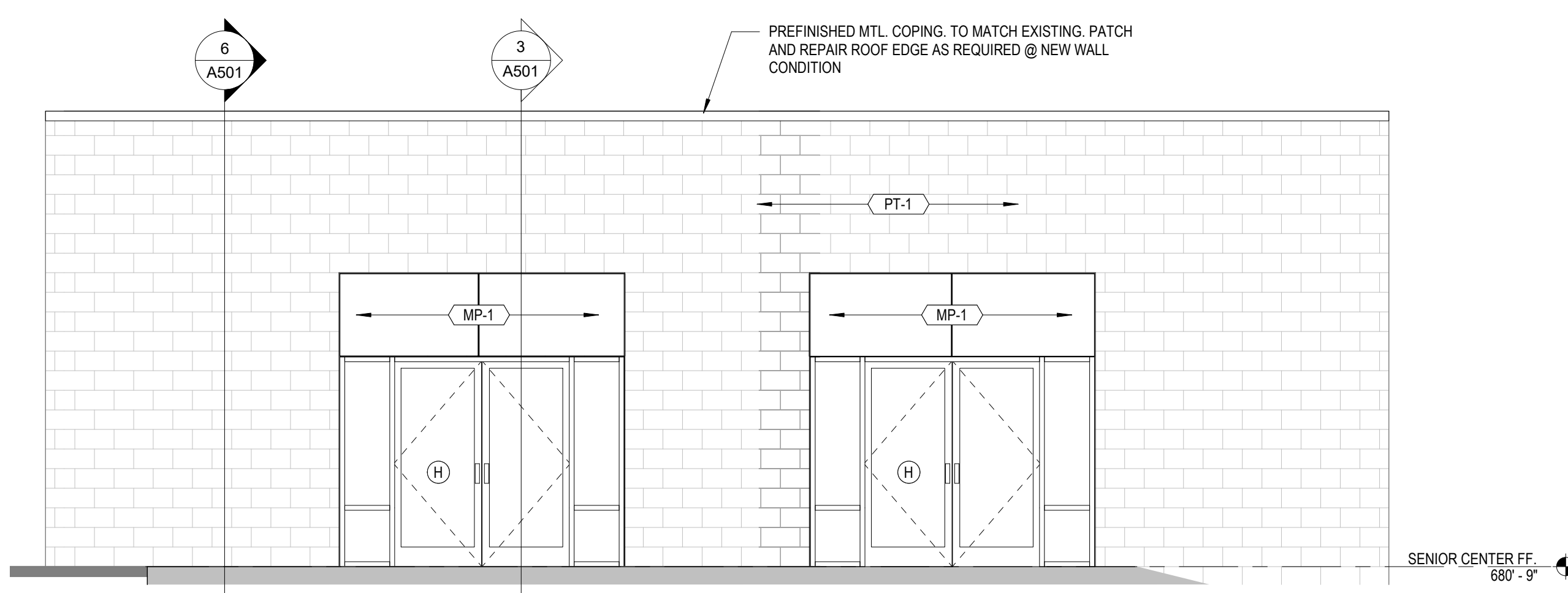
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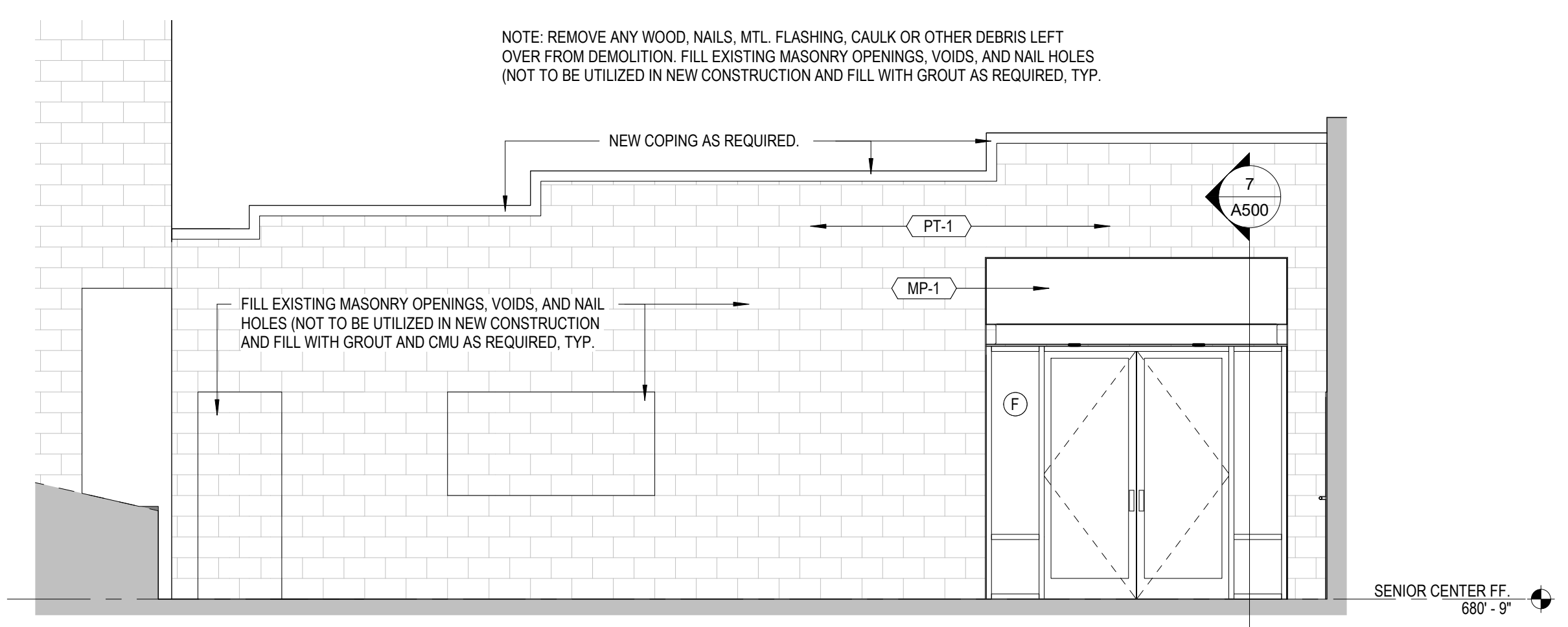
**EAST ELEVATION**  
 1/4" = 1'-0" 1



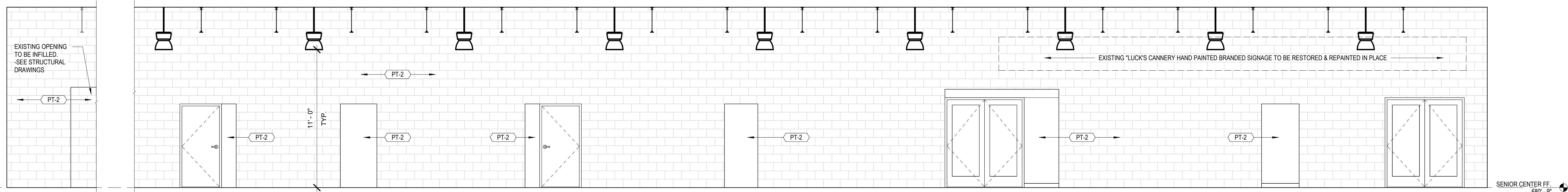
**EXISTING RETAIL WEST ELEVATION - NIC**  
 1/4" = 1'-0" 2



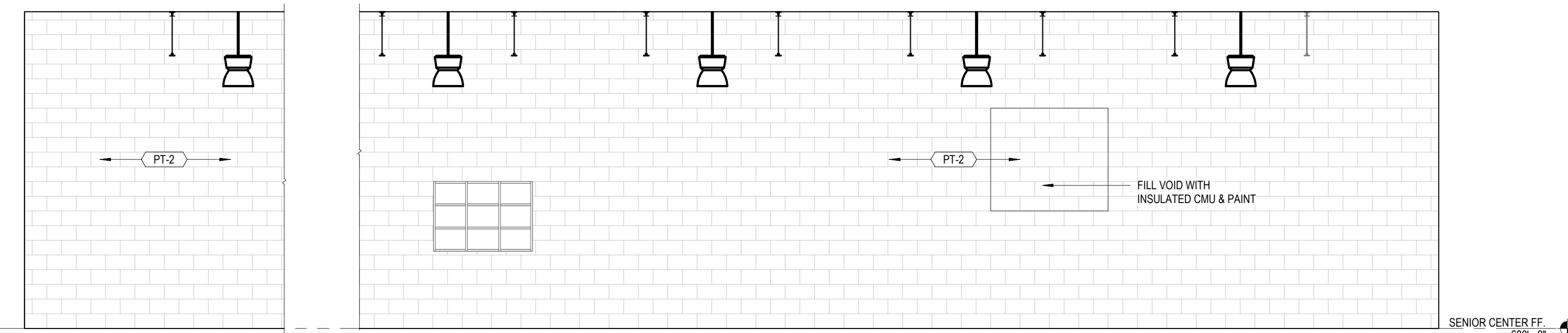
**LOWER FUTURE RETAIL - ENTRY ELEVATION**  
 1/4" = 1'-0" 4



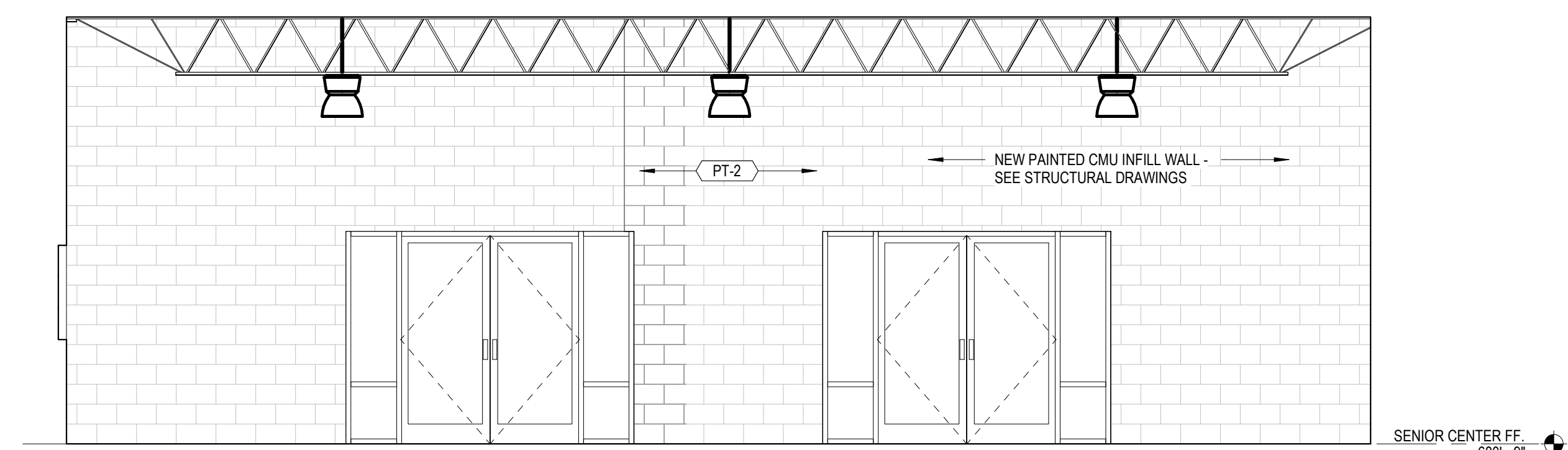
**SOUTH ELEVATION**  
 1/4" = 1'-0" 3



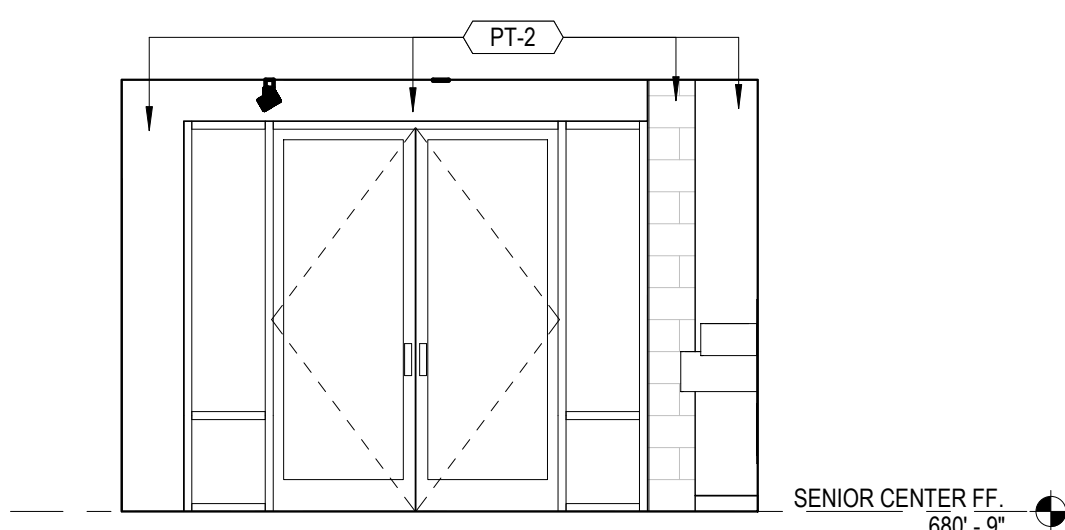
MULTI PURPOSE ROOM INTERIOR ELEVATION "B" 7  
1/4" = 1'-0"



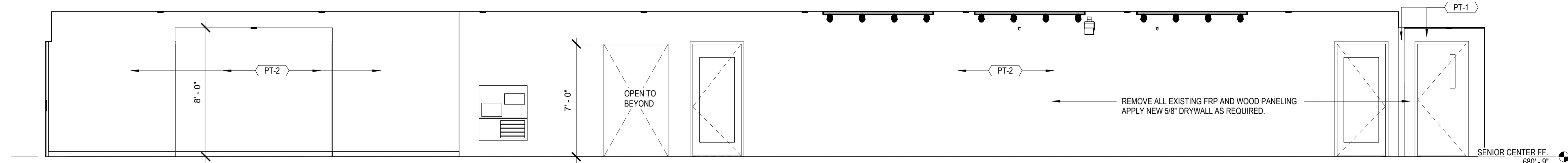
MULTI PURPOSE ROOM INTERIOR ELEVATION "C" 6  
1/4" = 1'-0"



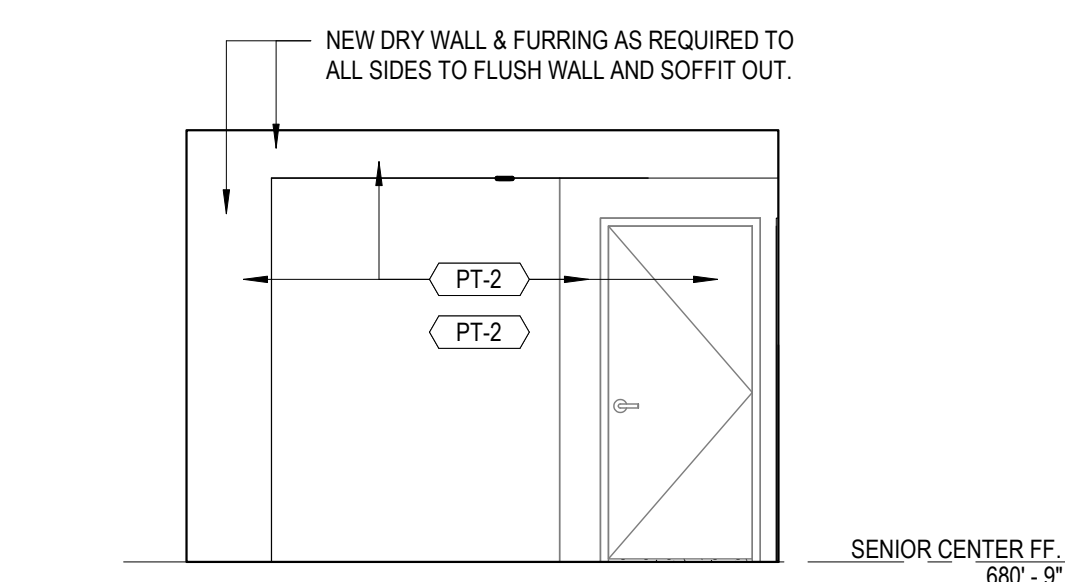
MULTI PURPOSE ROOM INTERIOR ELEVATION "A" 5  
1/4" = 1'-0"



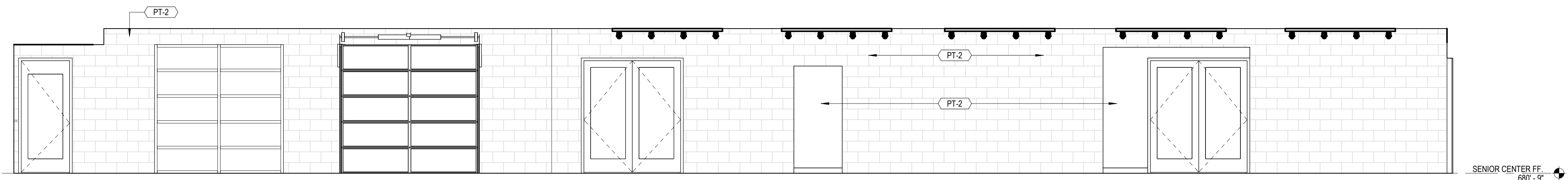
GALLERY INTERIOR ELEVATION "D" 4  
1/4" = 1'-0"



GALLERY INTERIOR ELEVATION "B" 3  
1/4" = 1'-0"



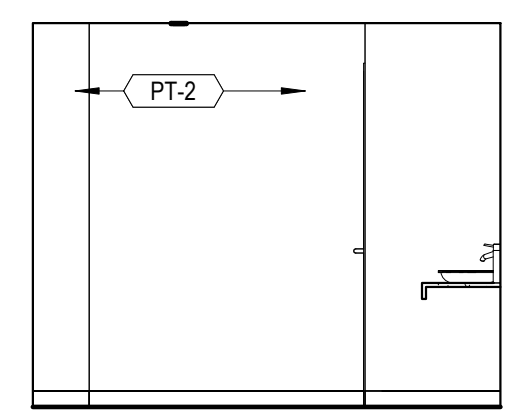
GALLERY INTERIOR ELEVATION "C" 2  
1/4" = 1'-0"



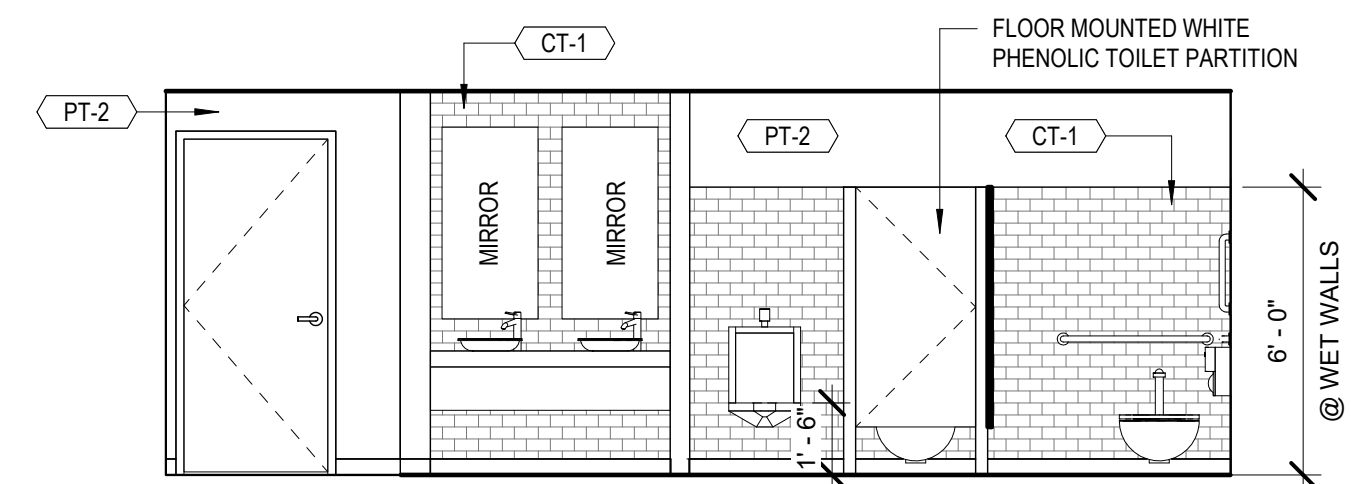
GALLERY INTERIOR ELEVATION "A" 1  
1/4" = 1'-0"

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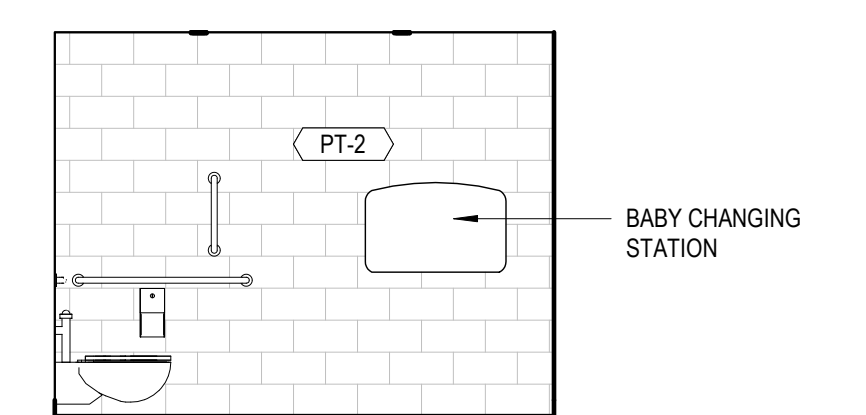
MEN'S RR INTERIOR ELEVATION "C"  
 1/4" = 1'-0" 7



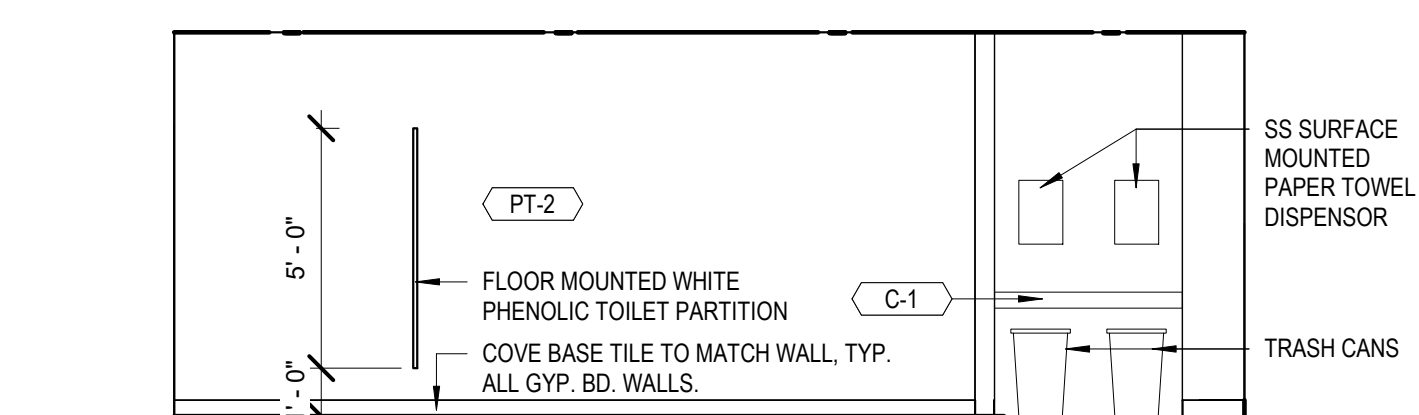
MEN'S RR INTERIOR ELEVATION "A"  
 1/4" = 1'-0" 9

DESCRIPTION	MANUF.	MODEL#	REMARKS
SURFACE MOUNTED MULTI-ROLL TOILET TISSUE DISPENSOR	BOBRICK	B-2888	PROVIDE FOR EACH STALL
PARTITION MOUNTED SANITARY NAPKIN DISPOSAL	BOBRICK	B-354	PROVIDE (4) WOMEN'S STALLS
SURFACE MOUNTED SANITARY NAPKIN DISPOSAL	BOBRICK	B-254	PROVIDE @ HC WOMEN'S STALL
SURFACE MOUNTED PAPER TOWEL DISPENSOR	BOBRICK	B-4262	SEE ELEVATIONS
CHANNEL-FRAME MIRROR	BOBRICK	B-165 2448	SEE ELEVATIONS
FLOOR-STANDING WASTE RECEPTACLE W/ OPEN TOP	BOBRICK	B-2260	SEE ELEVATIONS
HORIZONTAL WALL MOUNTED BABY CHANGING STATION	BOBRICK	KB200-SS	SEE ELEVATIONS
POLISHED CHROME SOAP DISPENSOR	FRANKE	SD-800	PROVIDE (1) @ EACH VESSEL SINK
SURFACE MOUNTED SEAT - COVER DISPENSOR	BOBRICK	B-221	PROVIDE (1) @ EACH STALL

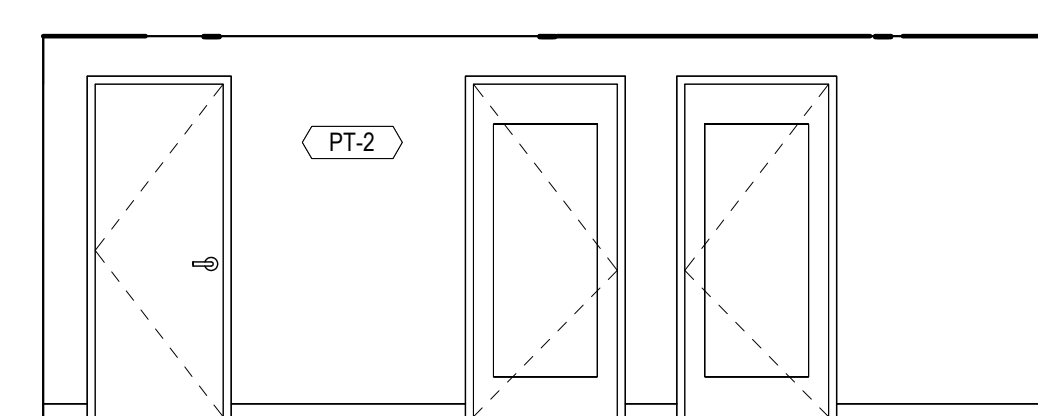
RESTROOM ACCESSORY SCHEDULE  
 12" = 1'-0"



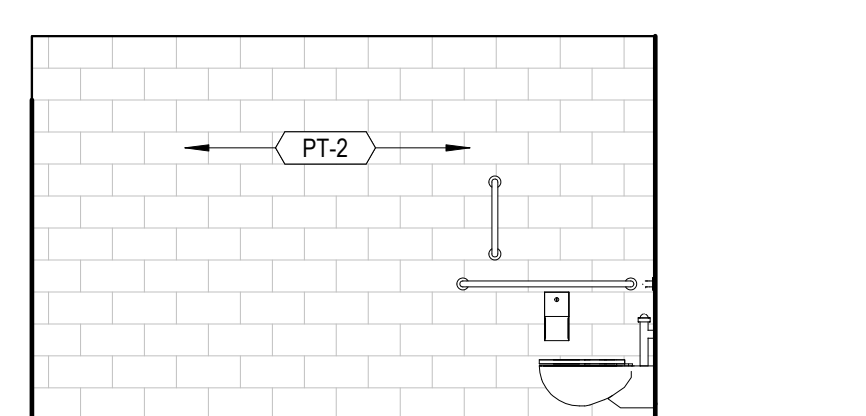
MEN'S RR INTERIOR ELEVATION "D"  
 1/4" = 1'-0" 6



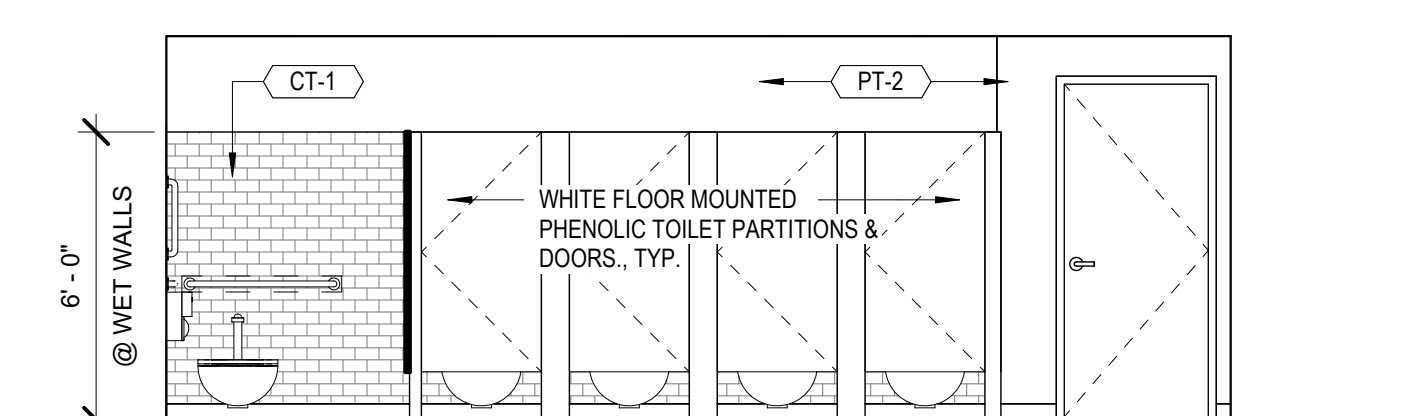
MEN'S RR INTERIOR ELEVATION "B"  
 1/4" = 1'-0" 8



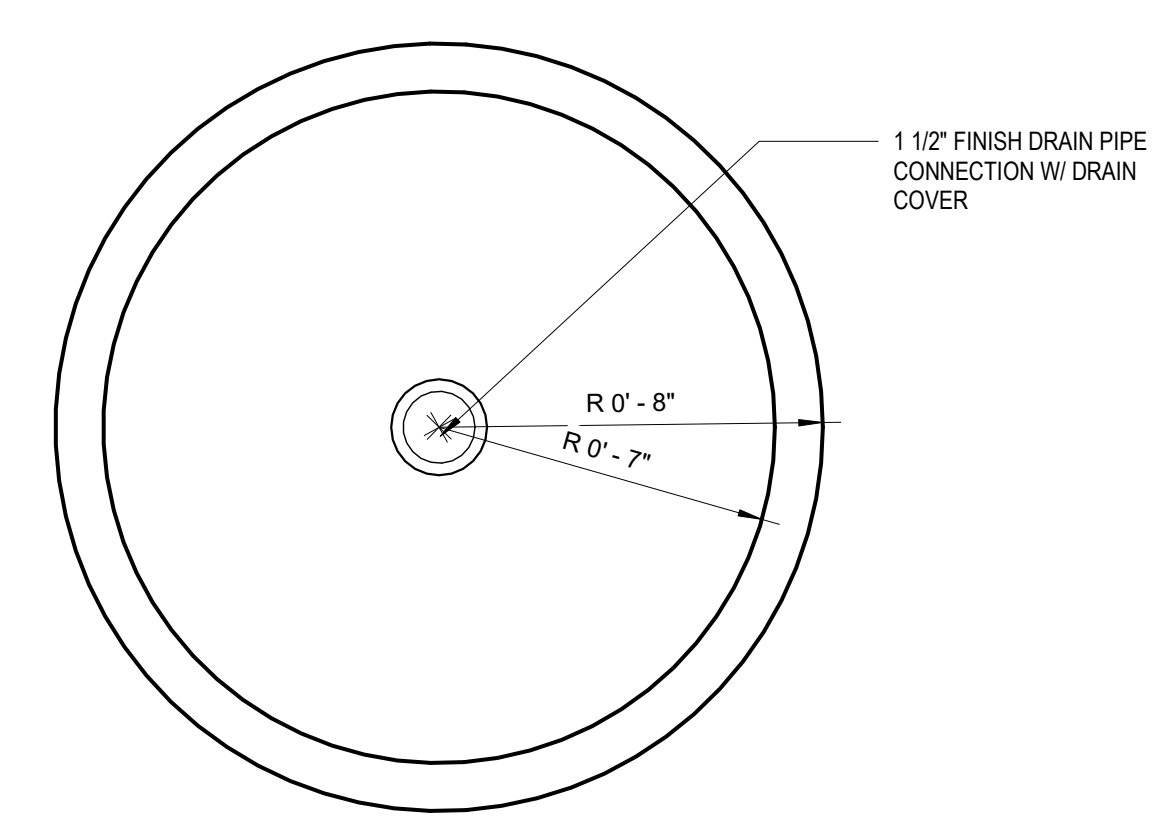
HALLWAY ELEVATION  
 1/4" = 1'-0" 10



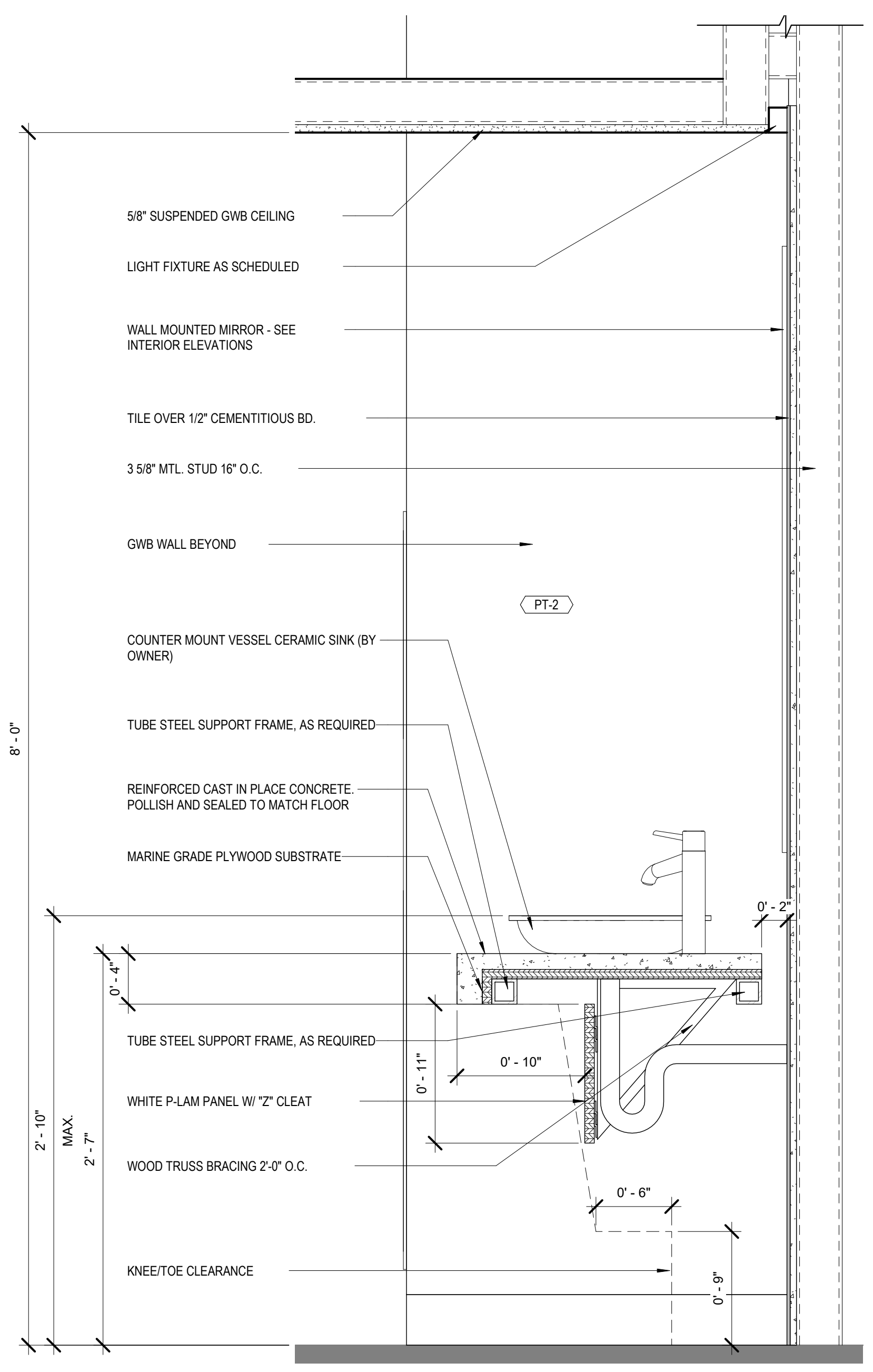
WOMEN'S RR INTERIOR ELEVATION "C"  
 1/4" = 1'-0" 3



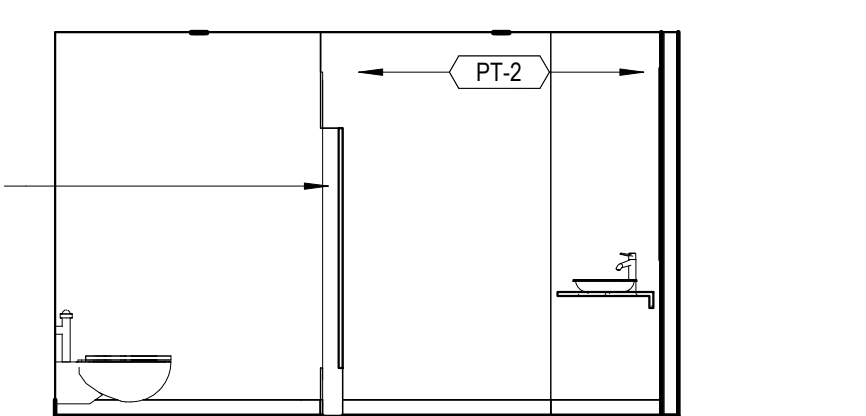
WOMEN'S RR INTERIOR ELEVATION "B"  
 1/4" = 1'-0" 4



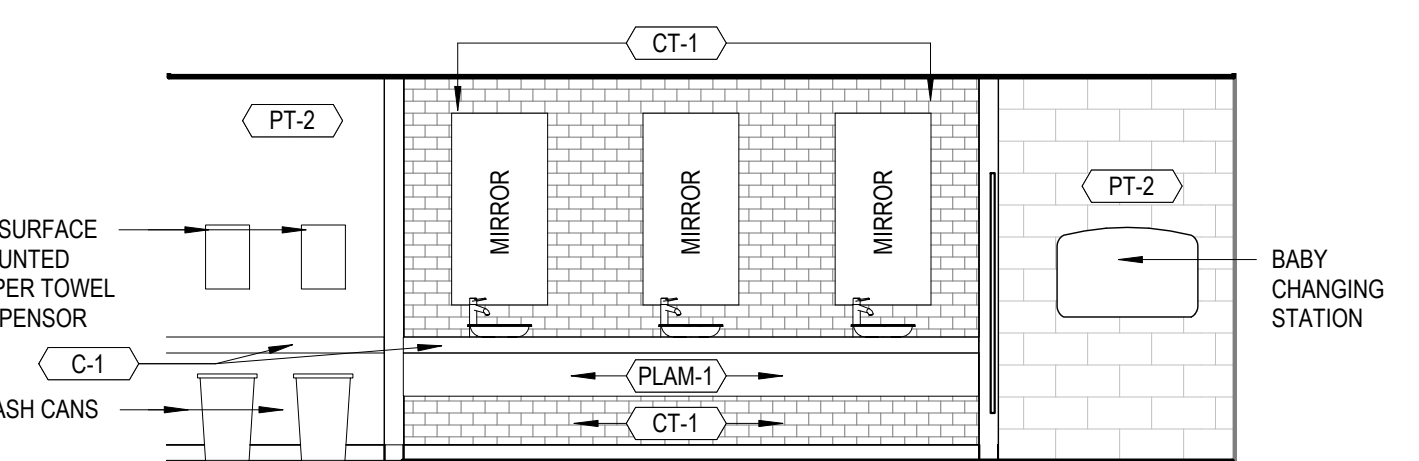
GLAZED CERAMIC SINK PLAN (BY OWNER)  
 3" = 1'-0" 13



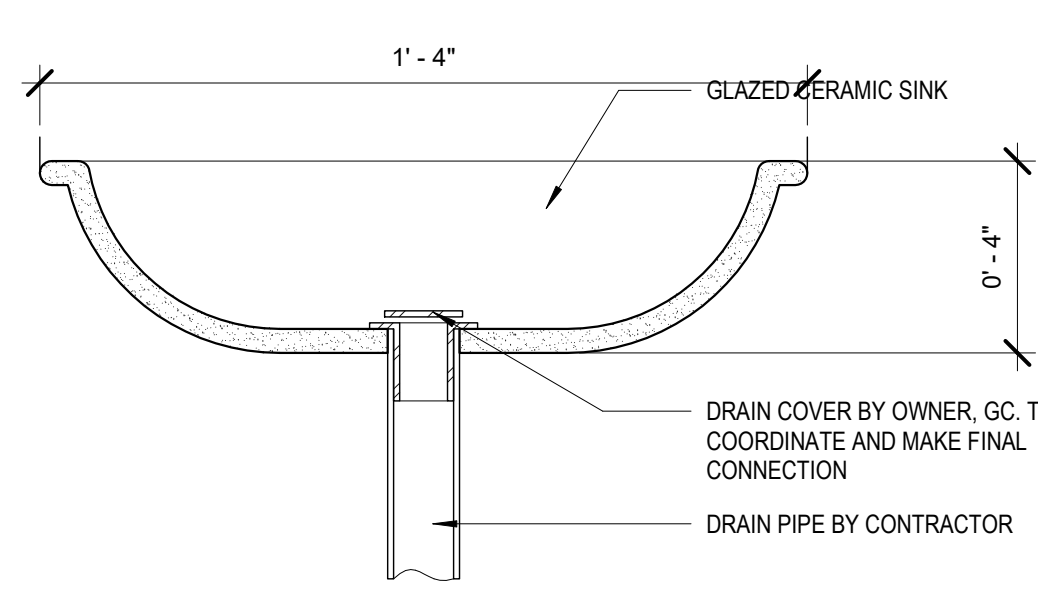
TYPICAL RESROOM COUNTER SECTION  
 1 1/2" = 1'-0" 11



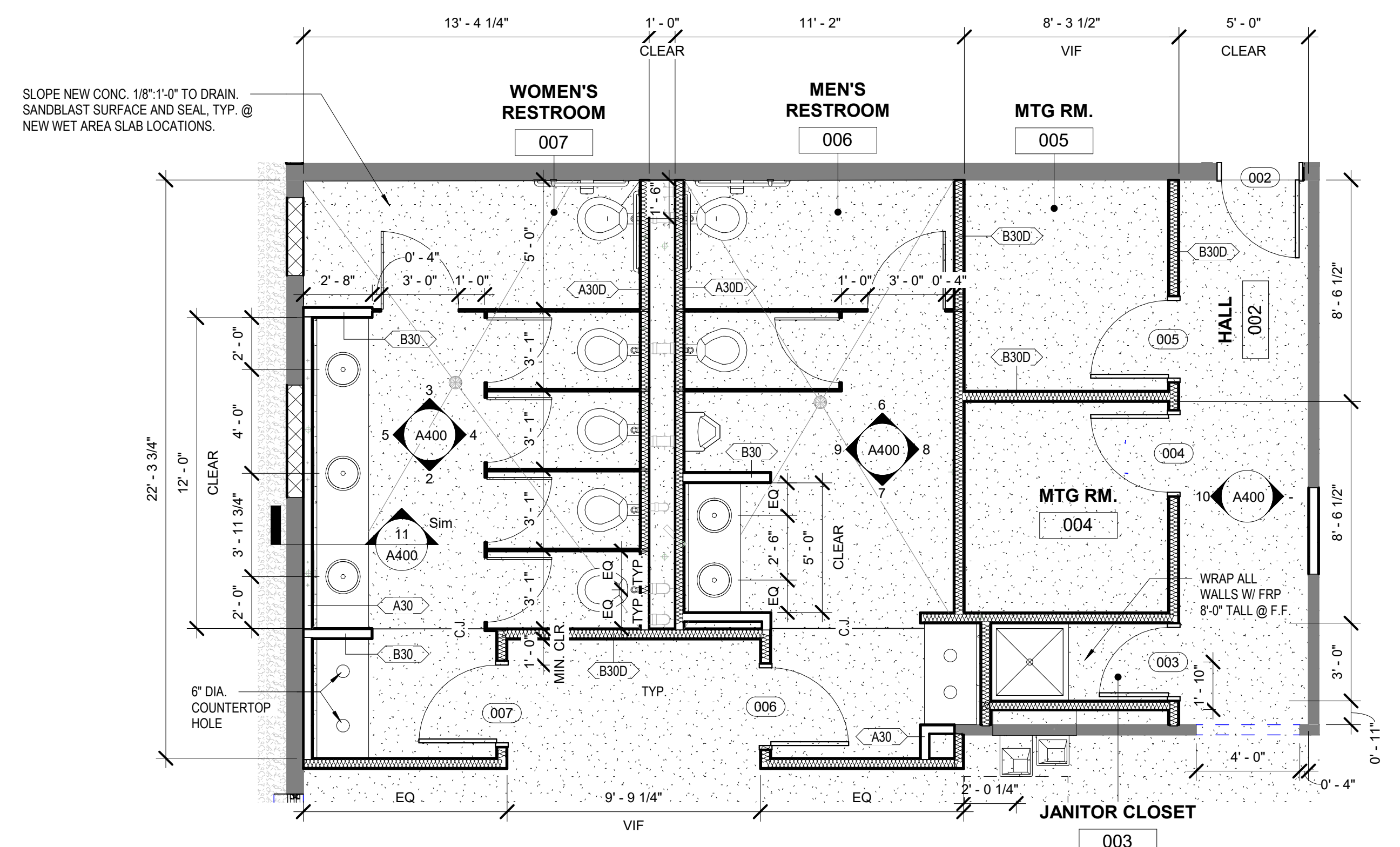
WOMEN'S RR INTERIOR ELEVATION "D"  
 1/4" = 1'-0" 2



WOMEN'S RR INTERIOR ELEVATION "A"  
 1/4" = 1'-0" 5

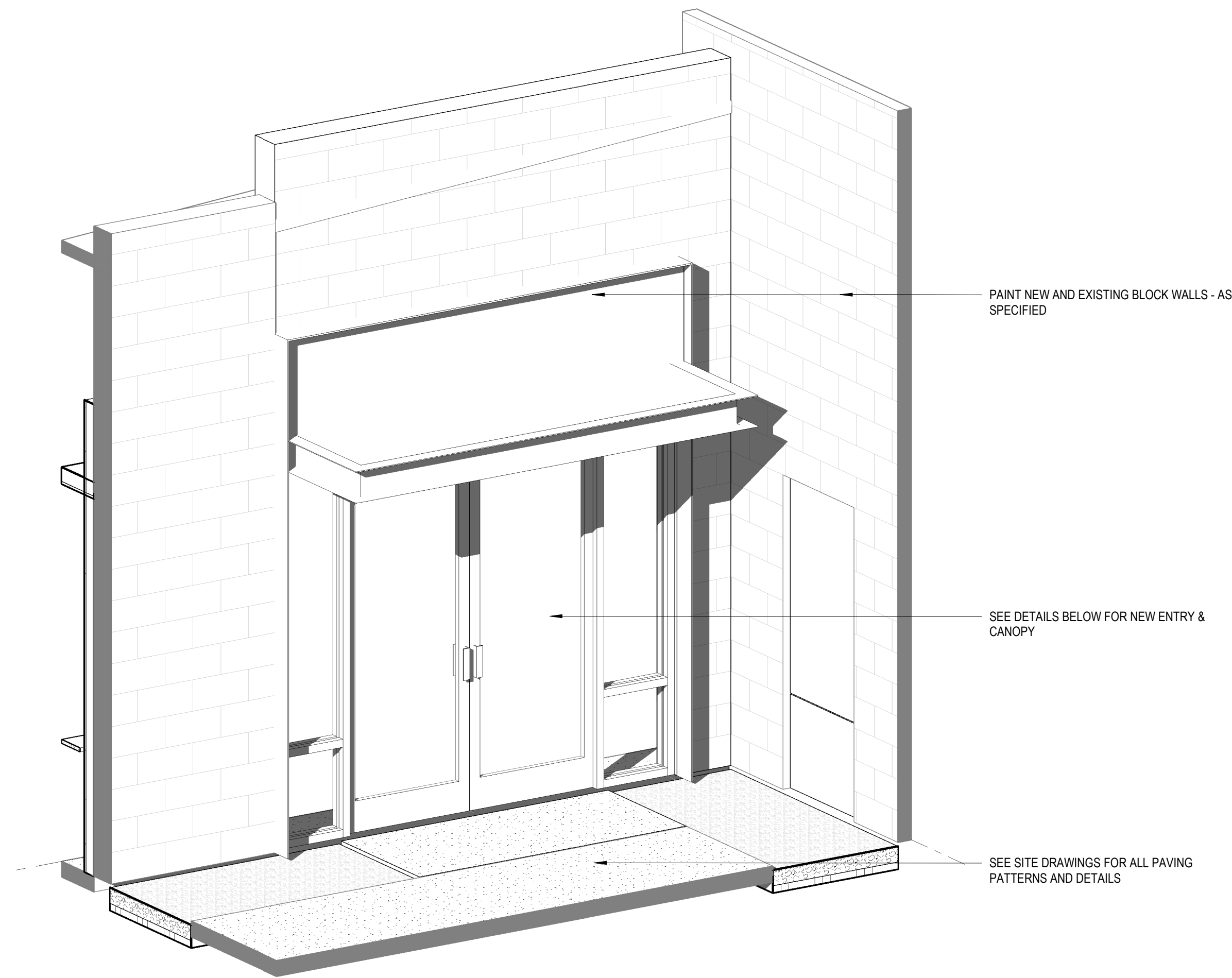


GLAZED CERAMIC SINK SECTION (BY OWNER)  
 3" = 1'-0" 12

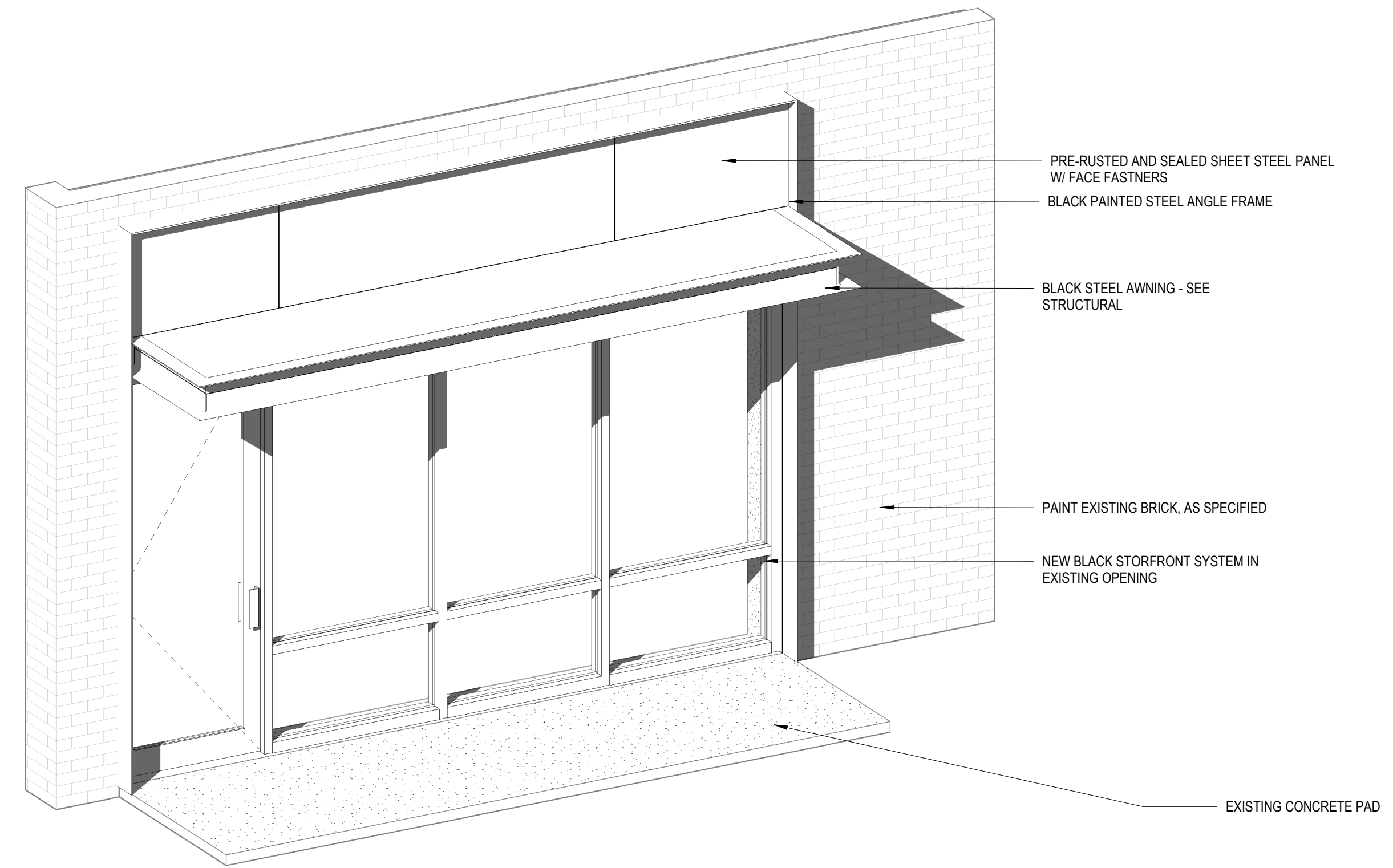


ENLARGED RESTROOM PLAN  
 1/4" = 1'-0" 1

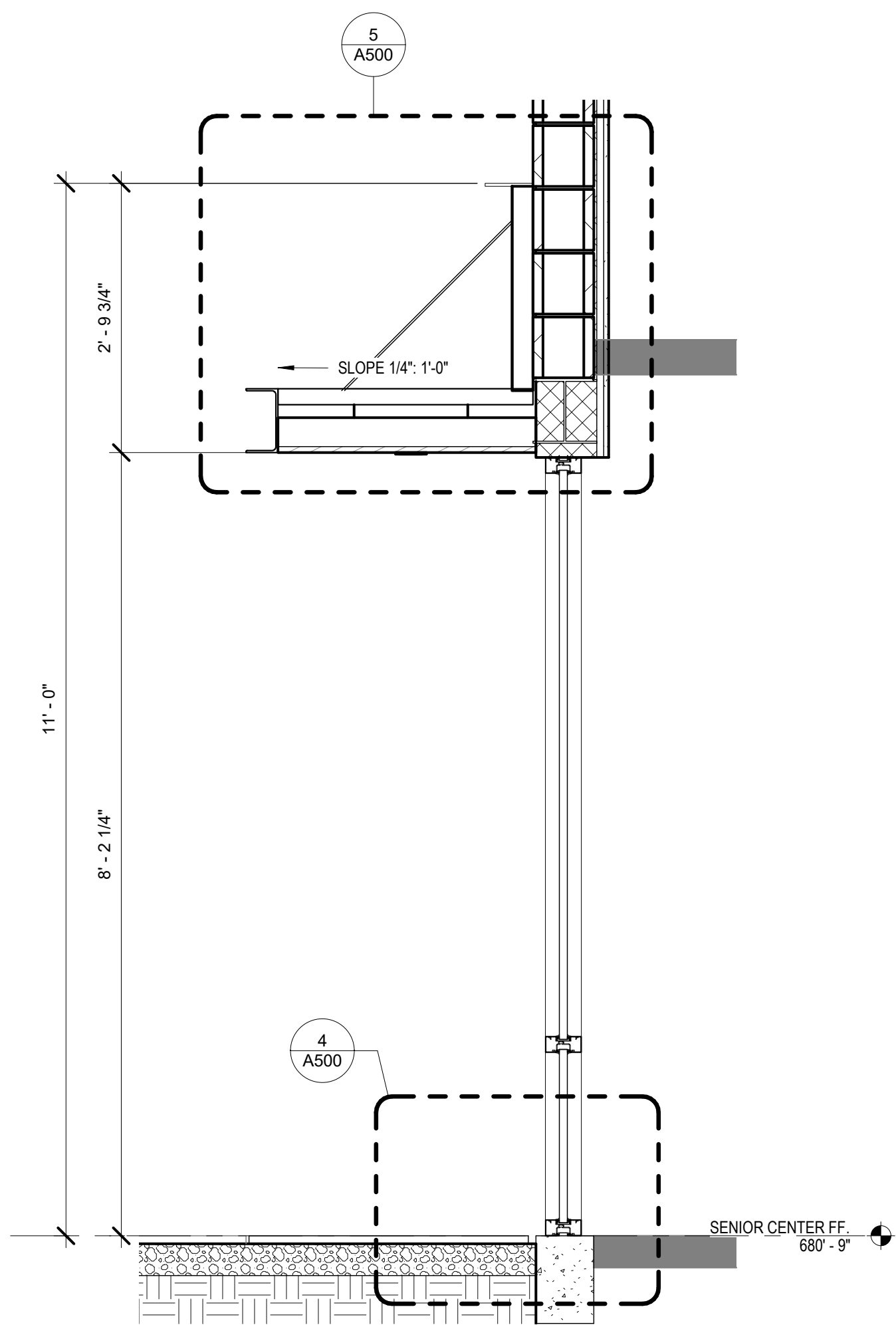




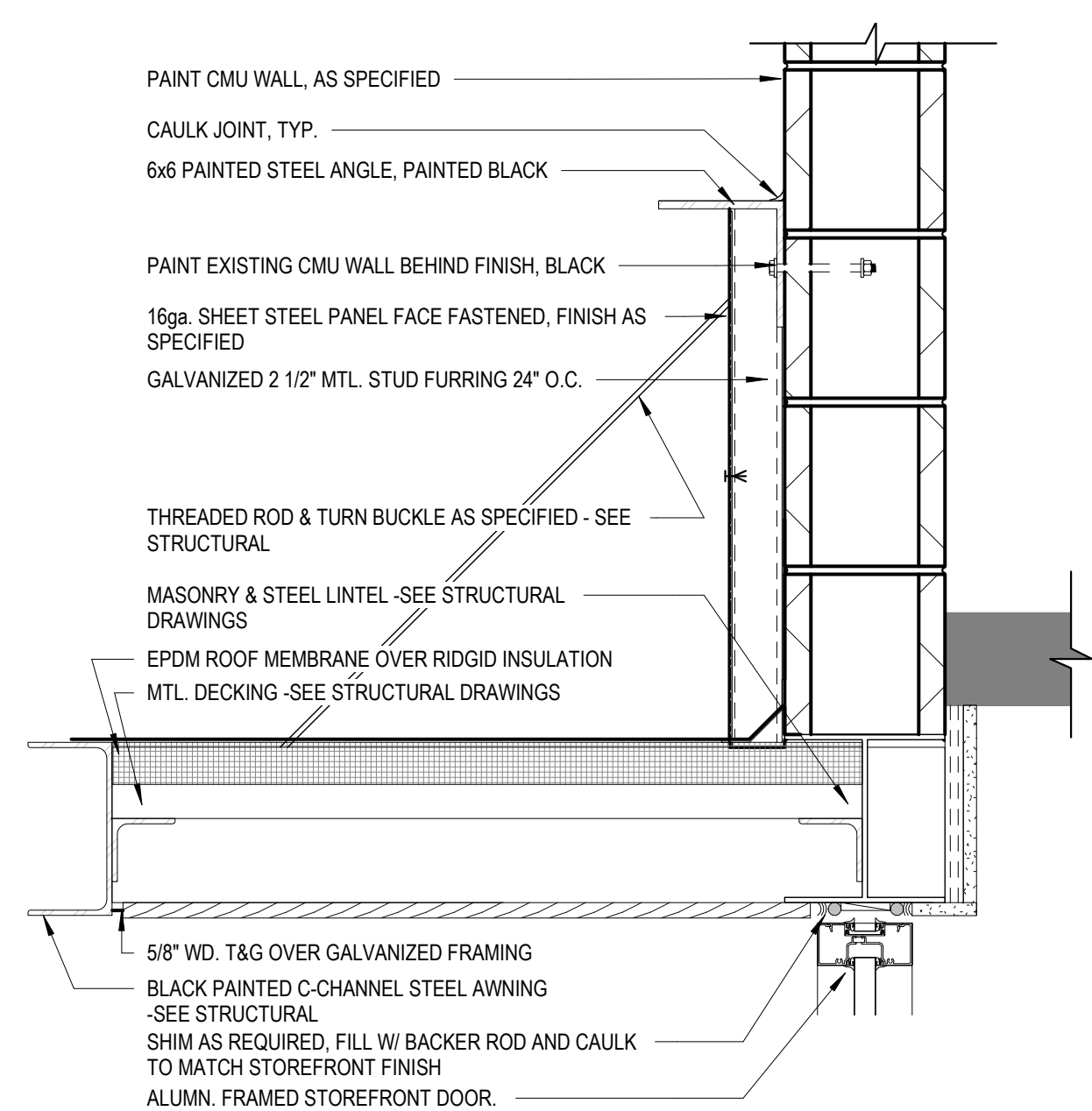
SENIOR CENTER ENTRY AXON 6



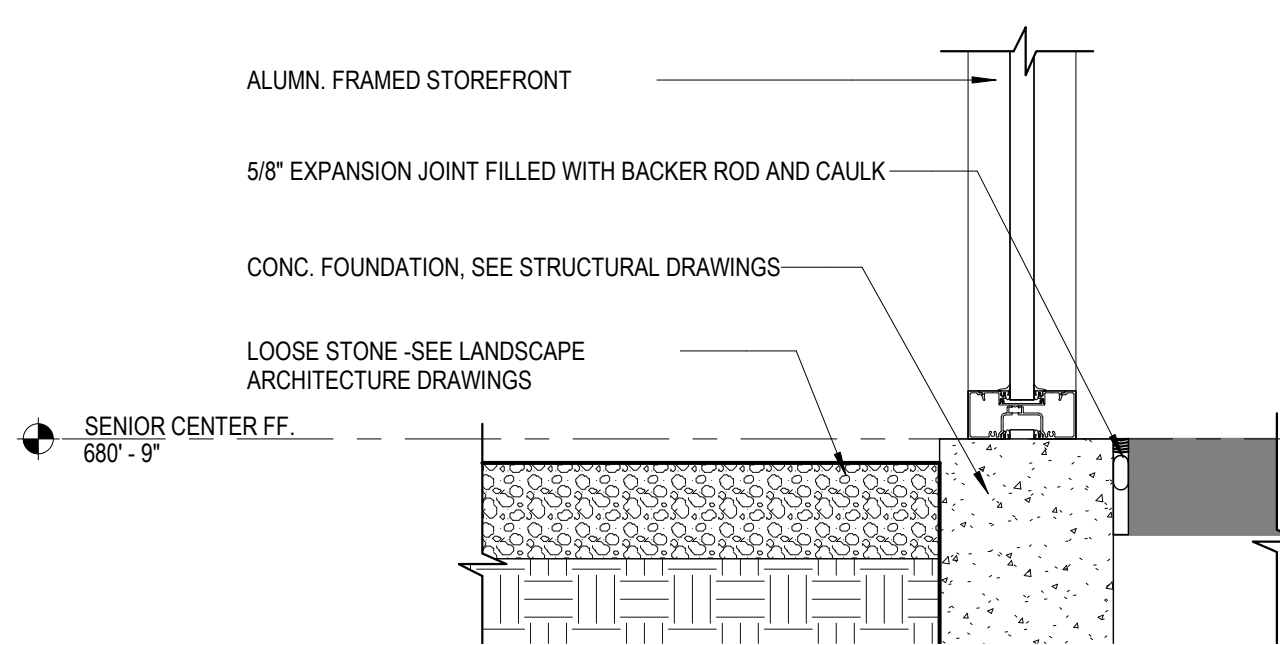
TOWN HALL ENTRY AXON 2



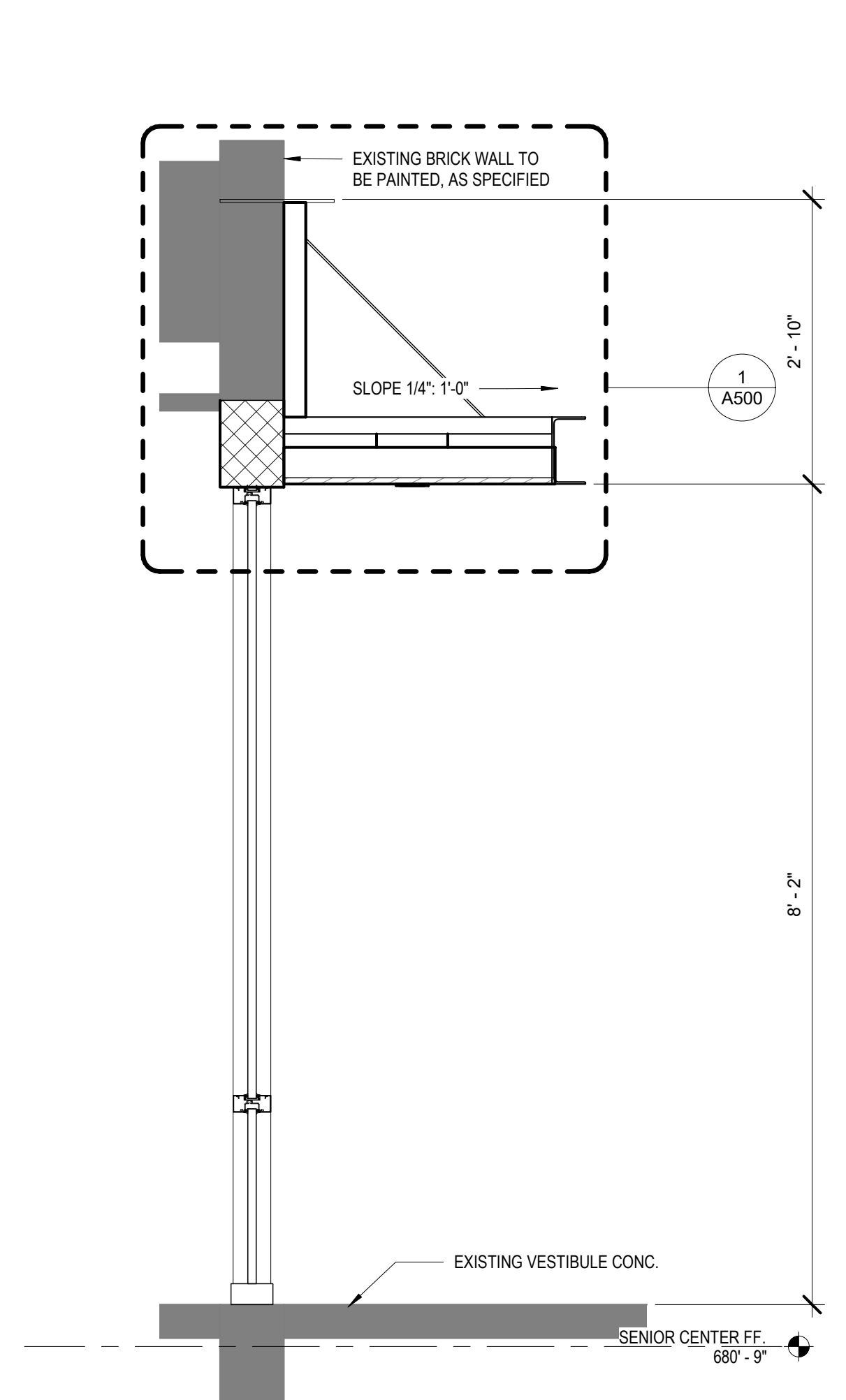
SECTION @ NEW SENIOR CENTER ENTRY 7  
3/4" = 1'-0"



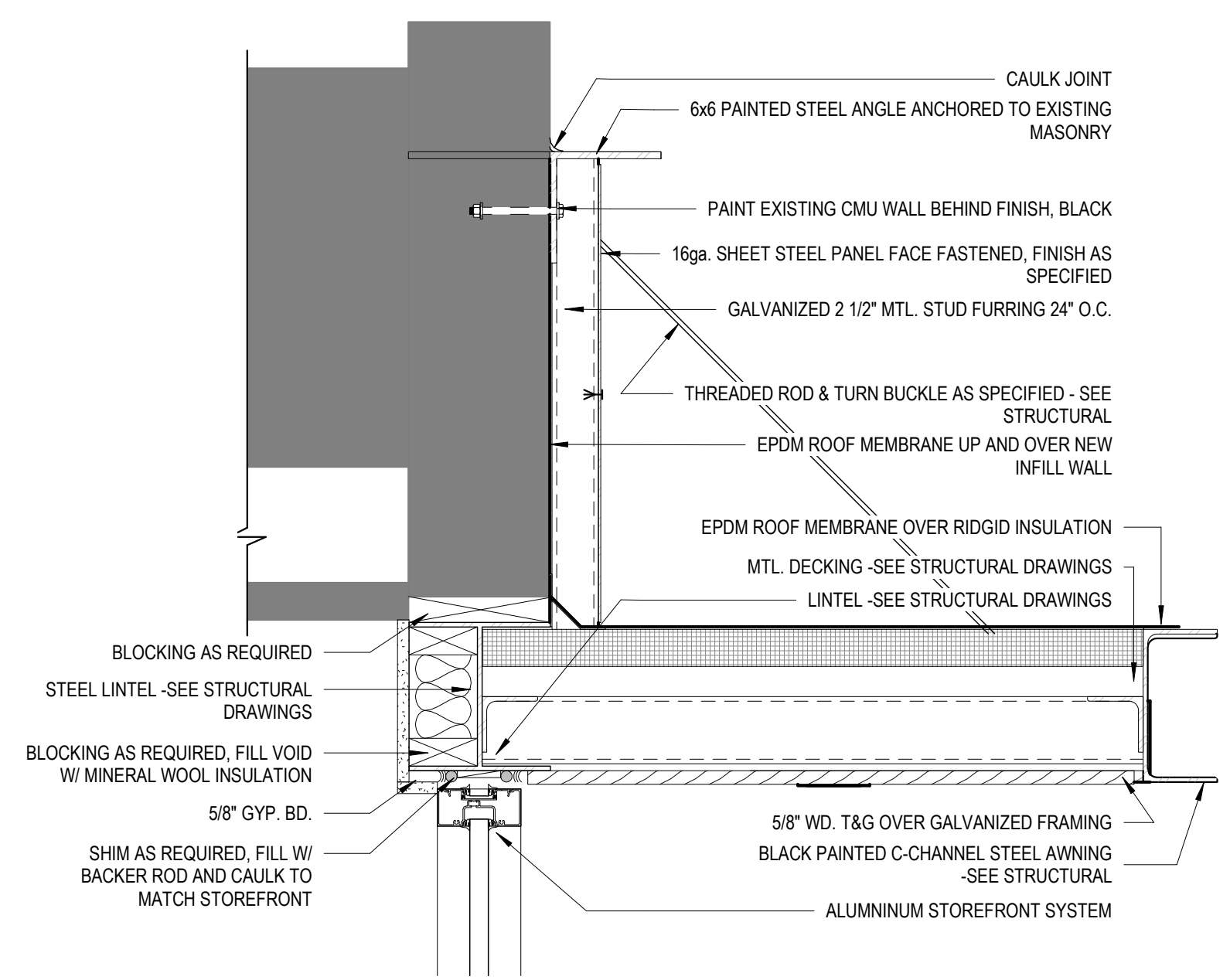
DETAIL @ NEW SENIOR CENTER ENTRY CANOPY 5  
1 1/2" = 1'-0"



DETAIL @ NEW SENIOR CENTER ENTRY SILL 4  
1 1/2" = 1'-0"



WALL SECTION @ TOWN HALL ENTRY 3  
3/4" = 1'-0"



CANOPY DETAIL @ TOWN HALL ENTRY 1  
1 1/2" = 1'-0"

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Project Owner:  
**LUCK'S CANNERY REDEVELOPMENT - PHASE I**  
 Seagrove, NC 27341

Stamp:

Issue For:  
**CONSTRUCTION**  
 Issue Date:  
 09.27.2019

REVISIONS

NO.	REASON	DATE

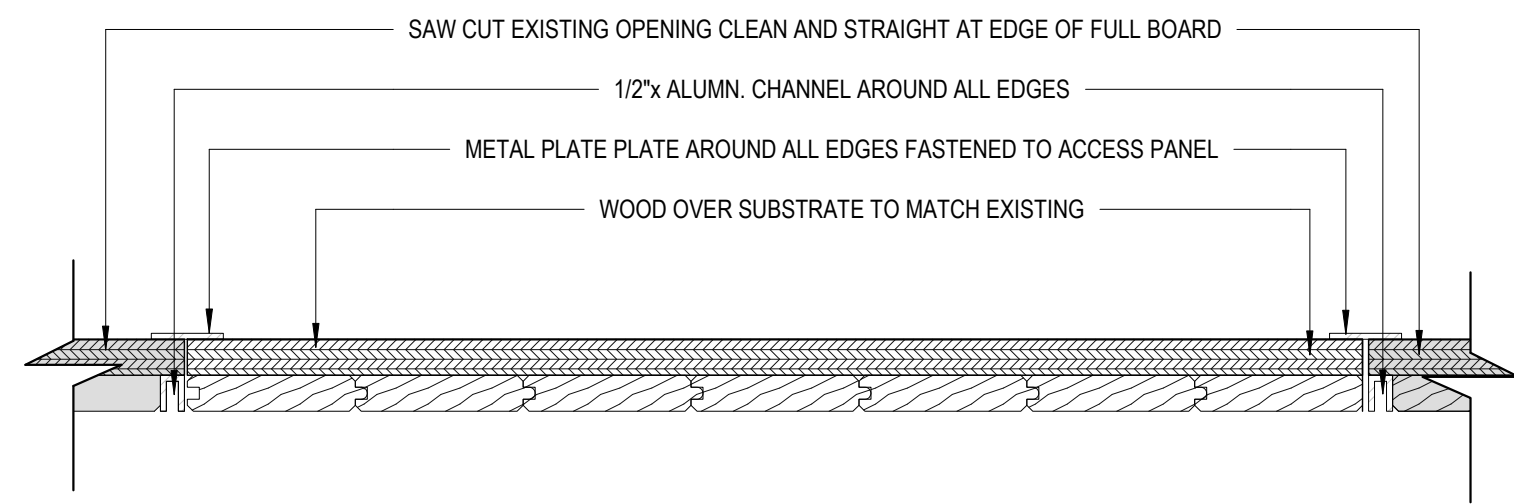
PRINCIPAL IN CHARGE:  
 D. WALKER

Project Address:  
**LUCK'S CANNERY - LOWER BLDG. RENNOVATION - PHASE IA**  
 798 NC Hwy. 705 Seagrove, NC 27341

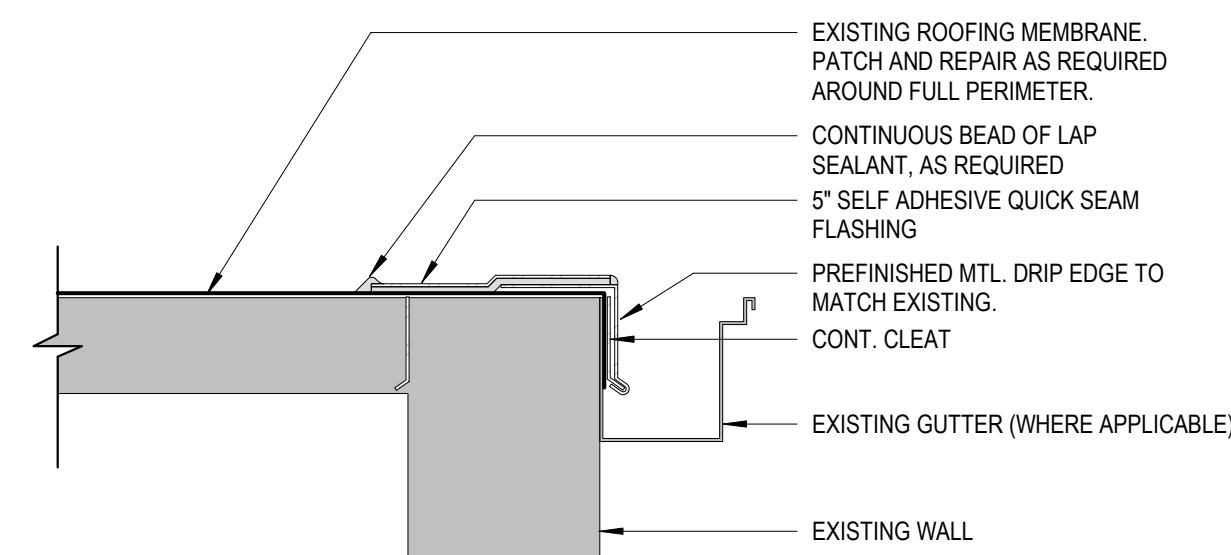
Project Number:  
 201901.1

Sheet Title:  
**WALL SECTION & DETAILS**

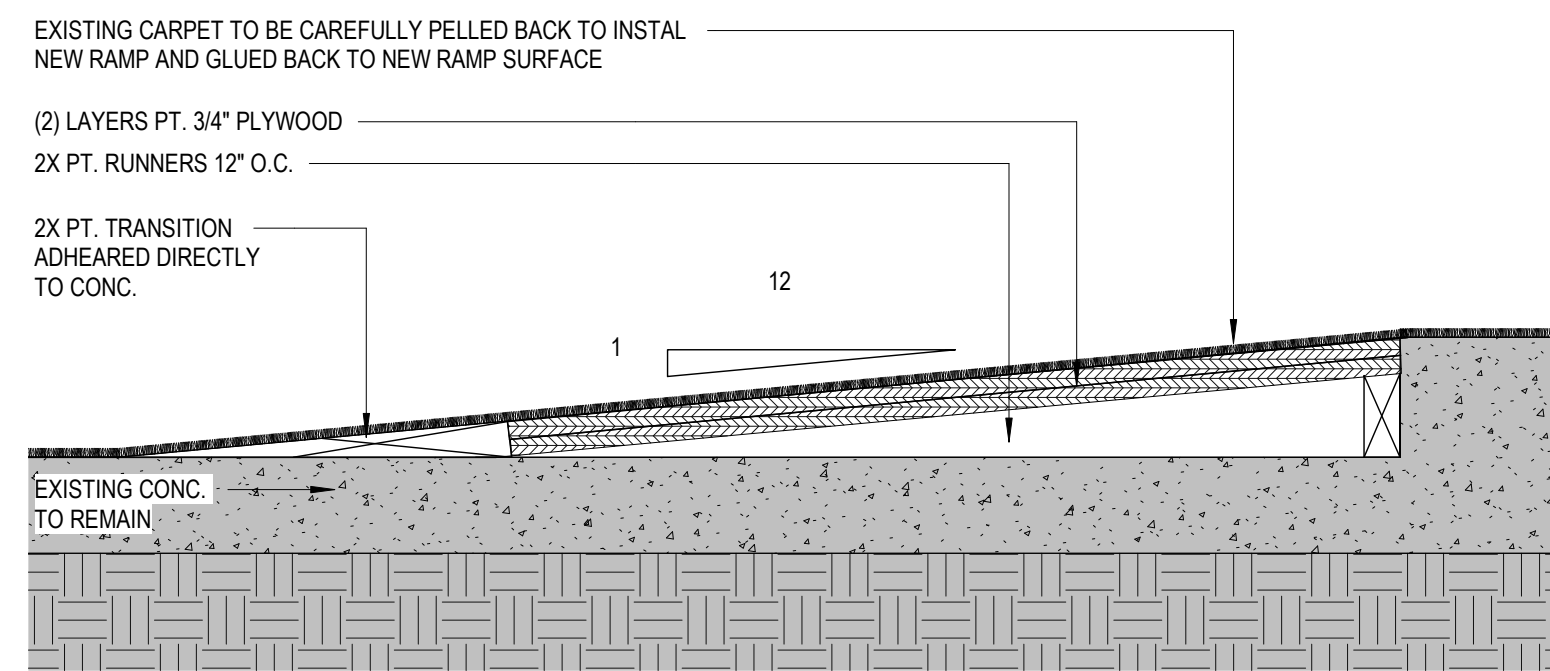
Sheet Number:  
**A500**



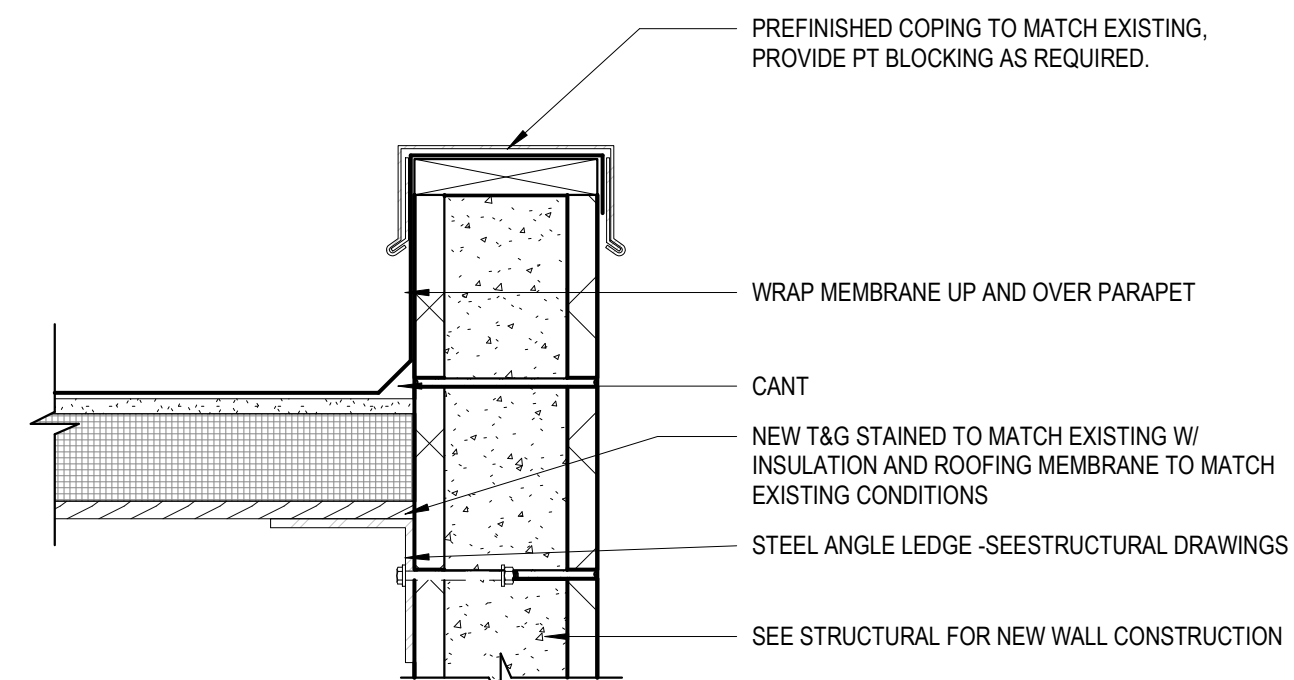
**WOOD CEILING ACCESS PANEL DETAIL**  
3" = 1'-0" 5



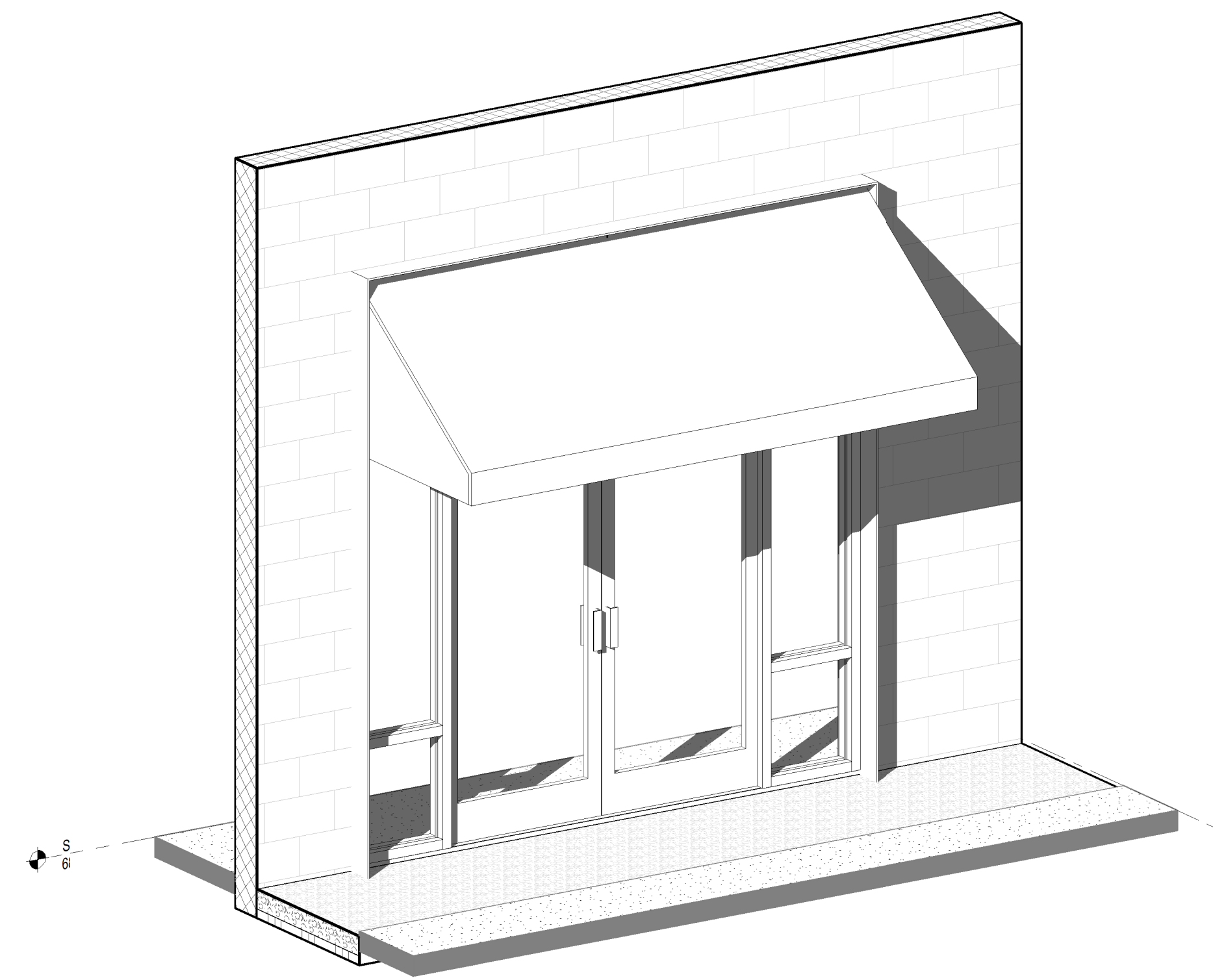
**ROOF DRIP EDGE DETAIL**  
1 1/2" = 1'-0" 11



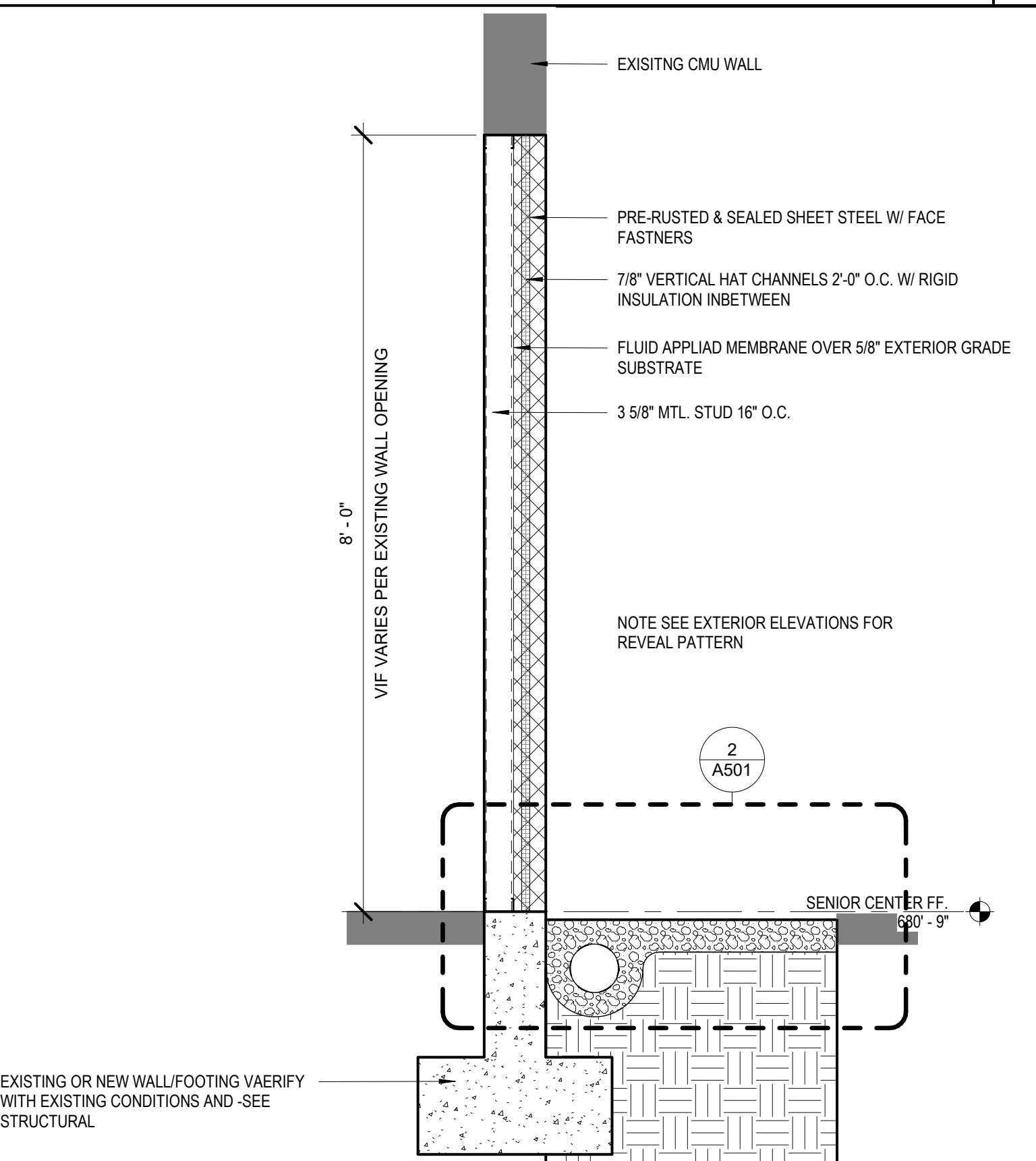
**NEW RAMP SECTION**  
1 1/2" = 1'-0" 4



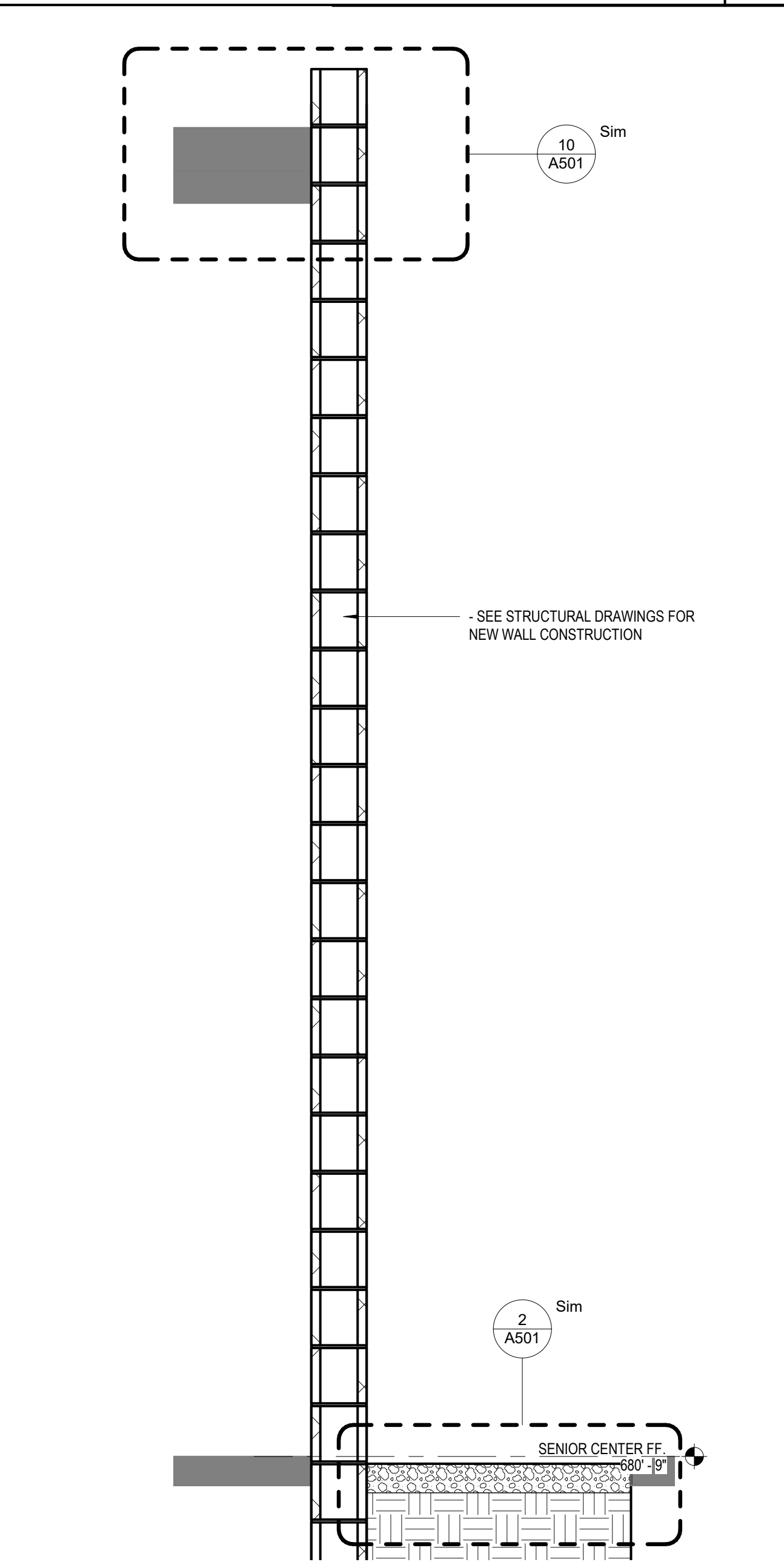
**COPING DETAIL @ NEW EXTERIOR WALL**  
1 1/2" = 1'-0" 10



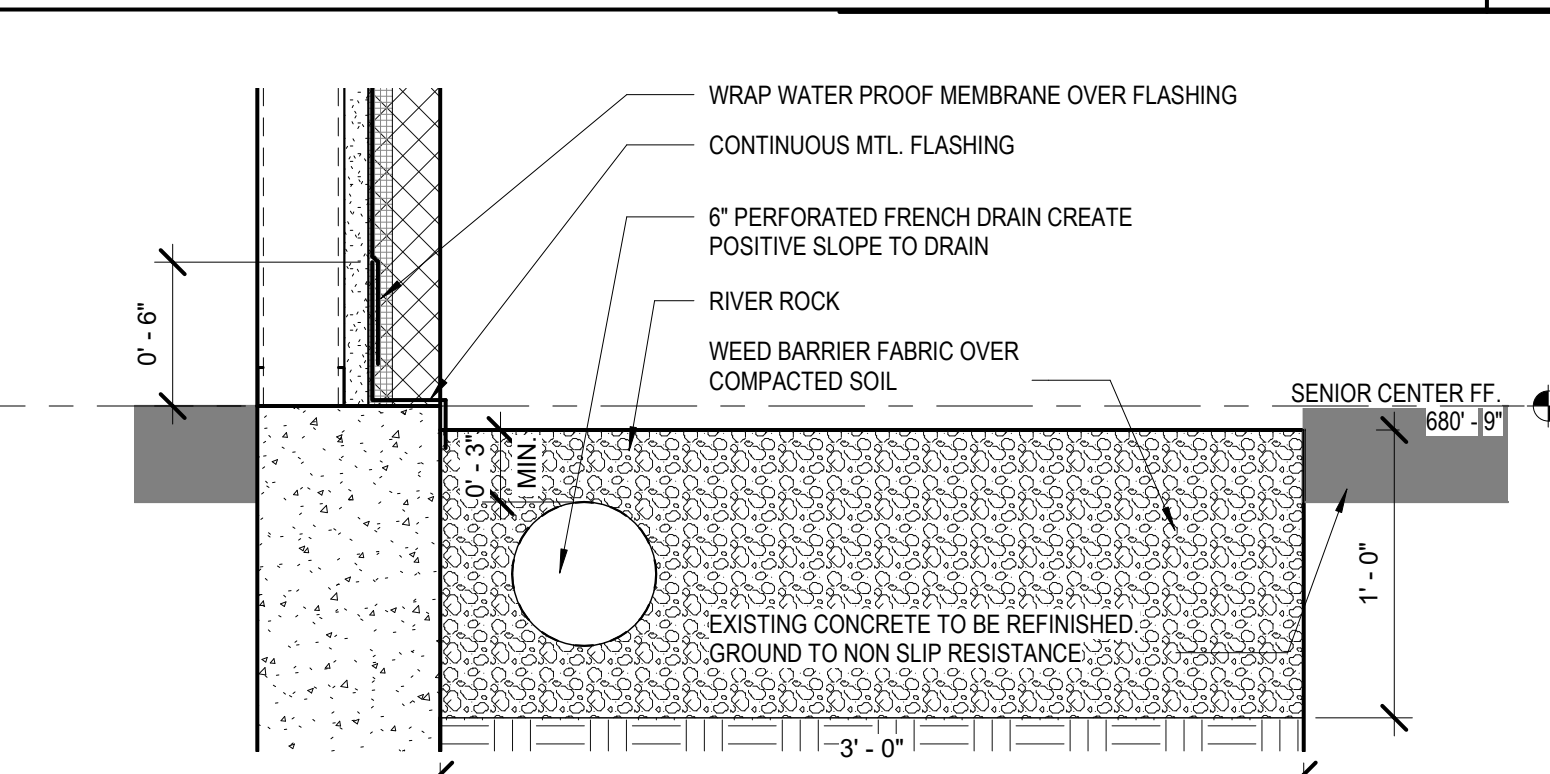
**MULTI PURPOSE ROOM EXTERIOR DOOR AXON** 7



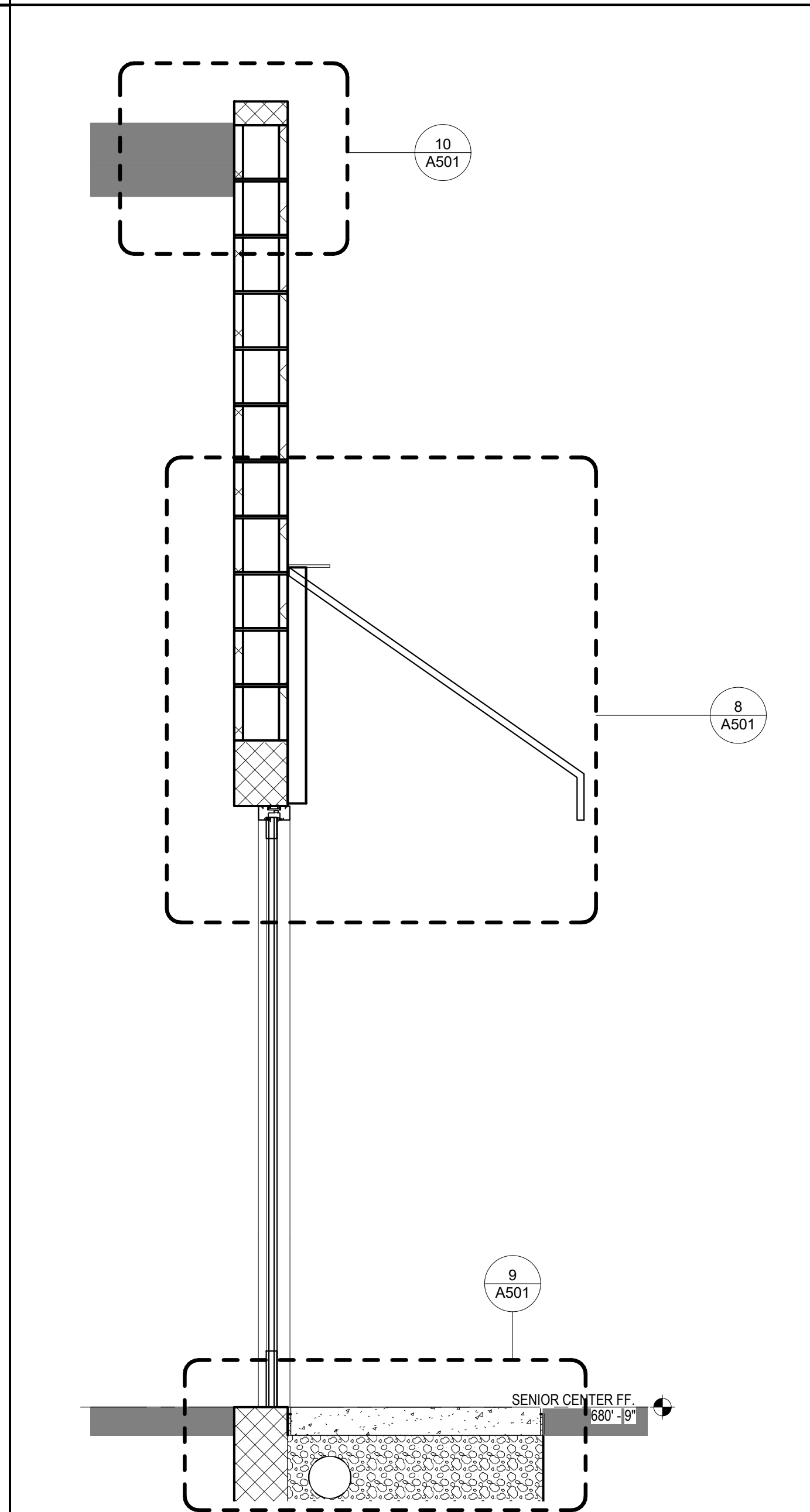
**TYPICAL WALL SECTION AT EXTERIOR INFILL PANELS**  
3/4" = 1'-0" 1



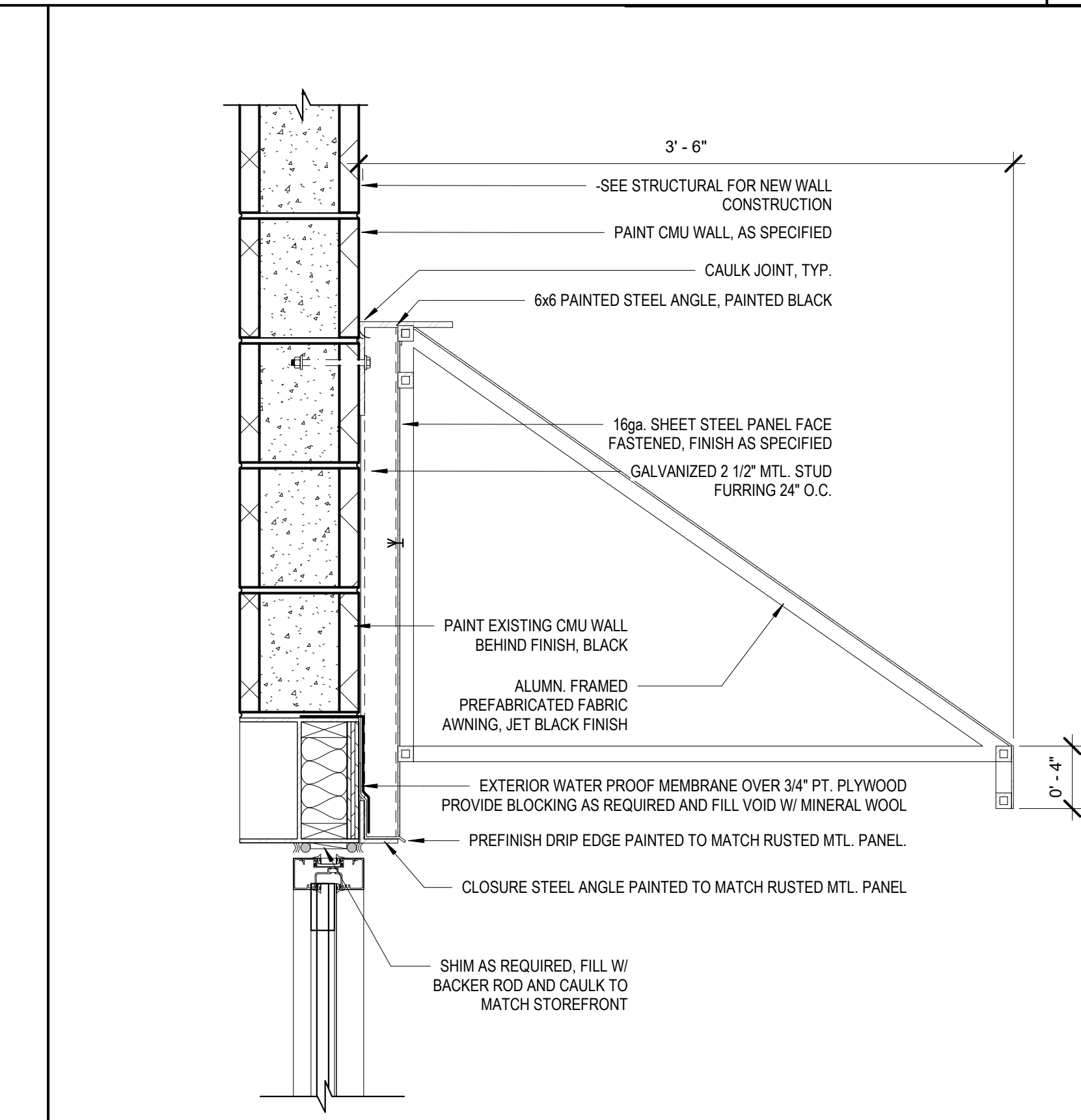
**EXTERIOR INFILL WALL SECTION**  
3/4" = 1'-0" 6



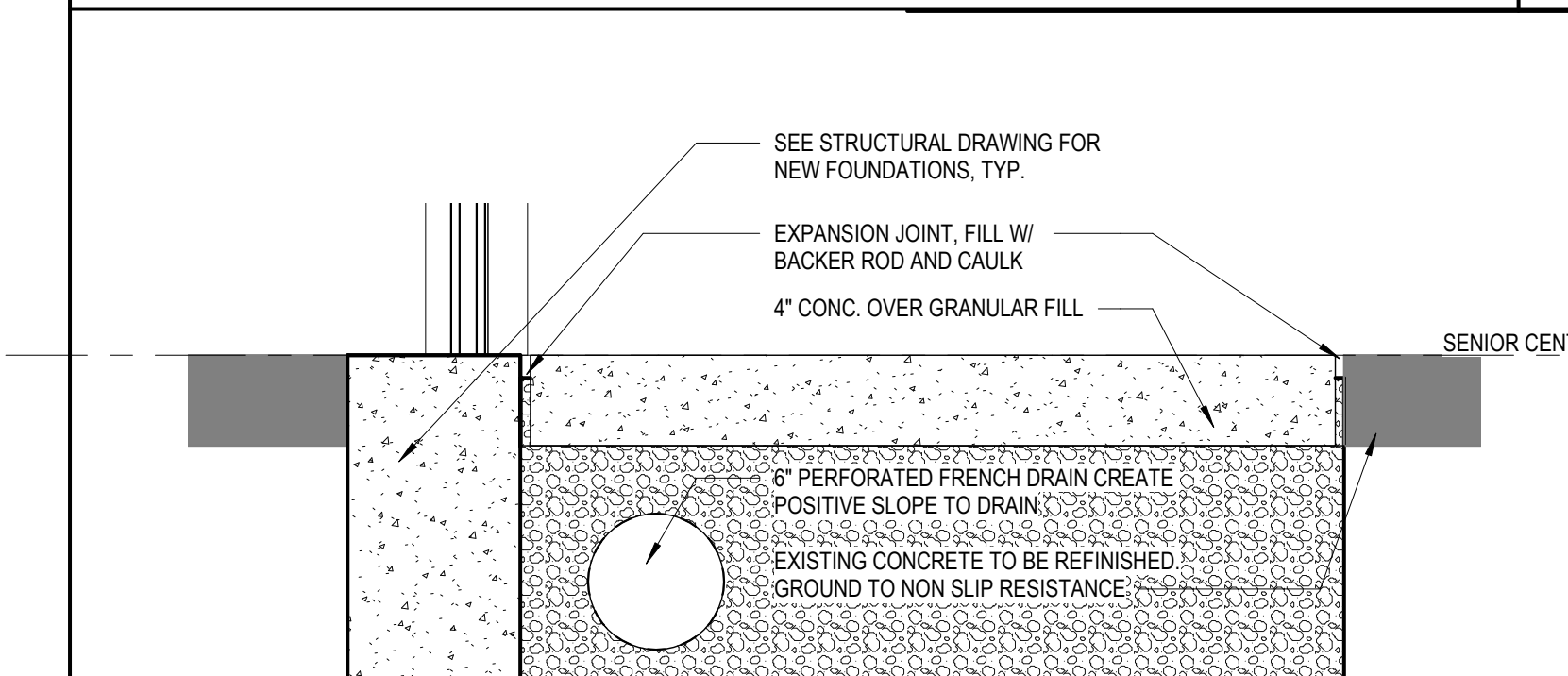
**PERIMETER WALL DETAIL @ INTERIOR COURTYARD**  
1 1/2" = 1'-0" 2



**WALL SECTION @ LOWER FUTURE RETAIL**  
3/4" = 1'-0" 3



**WALL SECTION @ LOWER FUTURE RETAIL - Callout 1**  
1 1/2" = 1'-0" 8



**WALL SECTION @ LOWER FUTURE RETAIL - Callout 2**  
1 1/2" = 1'-0" 9

Architect:

# bodhi

LAND || AND || DESIGN

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 Seagrove, NC 27341

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NO.	REASON	DATE

PRINCIPAL IN CHARGE:  
 D. WALKER

Project Address:  
 798 NC Hwy. 705 Seagrove, NC 27341

Project Number:  
 201901.1

Sheet Title:  
**WALL SECTIONS & DETAILS**

Sheet Number:  
**A501**

HW-01: PROVIDE EACH SGL DOOR(S) WITH THE FOLLOWING:				
QTY	DESCRIPTION	CATALOG NUMBER	FINISH	MFR
1 EA	STOREROOM LOCK	ND80TD SPA	626	SCH
1 EA	FSIC CORE	23-030	626	SCH
		BALANCE OF HARDWARE EXISTING		

HW-02: PROVIDE EACH SGL DOOR(S) WITH THE FOLLOWING:				
QTY	DESCRIPTION	CATALOG NUMBER	FINISH	MFR
3 EA	HINGE	5BB1 4.5 X 4.5	652	IVE
1 EA	PASSAGE SET	ND10S SPA	626	SCH
1 EA	WALL STOP	WS406/407CVX	630	IVE

HW-03: PROVIDE EACH SGL DOOR(S) WITH THE FOLLOWING:				
QTY	DESCRIPTION	CATALOG NUMBER	FINISH	MFR
1 EA	CONT. HINGE	224HD	628	IVE
1 EA	PANIC HARDWARE	CD-35A-EO	626	VON
1 EA	RIM CYLINDER	20-057 ICX	626	SCH
1 EA	FSIC CORE	23-030	626	SCH
1 EA	OH STOP	100S	630	GLY
1 EA	SURFACE CLOSER	4050 EDA	689	LCN
1 EA	THRESHOLD	655A-223	A	ZER
1 EA	DOOR CONTACT	679-05HM	BLK	SCE
		SEALS BY DOOR SUPPLIER		

HW-04: PROVIDE EACH PR DOOR(S) WITH THE FOLLOWING:				
QTY	DESCRIPTION	CATALOG NUMBER	FINISH	MFR
2 EA	CONT. HINGE	224HD	628	IVE
1 EA	REMOVABLE MULLION	KR4954 STAB	689	VON
1 EA	PANIC HARDWARE	CD-35A-DT	626	VON
1 EA	PANIC HARDWARE	CD-35A-NL	626	VON
1 EA	RIM CYLINDER	20-057 ICX	626	SCH
3 EA	MORTISE CYLINDER	23-061	626	SCH
1 EA	FSIC CORE	23-030	626	SCH
2 EA	OH STOP	100S	630	GLY
2 EA	SURFACE CLOSER	4050 EDA	689	LCN
1 EA	THRESHOLD	655A-223	A	ZER
1 EA	MULLION SEAL	8780NBK PSA	BK	ZER
2 EA	DOOR CONTACT	679-05HM	BLK	SCE
		SEALS BY DOOR SUPPLIER		

HW-05: PROVIDE EACH PR DOOR(S) WITH THE FOLLOWING:				
QTY	DESCRIPTION	CATALOG NUMBER	FINISH	MFR
6 EA	HINGE	5BB1 4.5 X 4.5 NRP	652	IVE
1 SET	CONT LATCHING BOLT	FB81P	630	IVE
1 EA	DUST PROOF STRIKE	DP2	626	IVE
1 EA	STORMROOM LOCK	ND80TD SPA	626	SCH
1 EA	FSIC CORE	20-030	626	SCH
1 EA	COORDINATOR	COR X FL	628	IVE
2 EA	SURFACE CLOSER	4050 SCUSH	689	LCN
2 EA	KICK PLATE	8400 10" X 1" LDW B-CS	630	IVE
1 EA	GASKETING	188SBK PSA	BK	ZER
2 EA	MEETING STILE	328AA-S	AA	ZER

HW-06: PROVIDE EACH SGL DOOR(S) WITH THE FOLLOWING:				
QTY	DESCRIPTION	CATALOG NUMBER	FINISH	MFR
3 EA	HINGE	5BB1 4.5 X 4.5 NRP	652	IVE
1 SET	STOREROOM LOCK	ND80TD SPA	626	SCH
1 EA	FSIC CORE	23-030	626	SCH
1 EA	WALL STOP	WS406/407CVX	630	IVE

HW-07: PROVIDE EACH PR DOOR(S) WITH THE FOLLOWING:				
QTY	DESCRIPTION	CATALOG NUMBER	FINISH	MFR
6 EA	HINGE	5BB1 4.5 X 4.5 NRP	652	IVE
2 SET	MANUAL FLUSH BOLT	FB458	626	IVE
1 EA	DUST PROOF STRIKE	DP2	626	IVE
1 EA	STORMROOM LOCK	ND80TD SPA	626	SCH
1 EA	FSIC CORE	20-030	626	SCH
2 EA	WALL STOP	WS406/407CVX	630	IVE

HW-08: PROVIDE EACH RU DOOR(S) WITH THE FOLLOWING:				
QTY	DESCRIPTION	CATALOG NUMBER	FINISH	MFR
		HARDWARE BY MANUFACTURER		

DOORS - SCHEDULE												
OPENING NO.	WIDTH	HEIGHT	THICK.	DOOR			FRAME			RATING MIN.	HARDWARE & COMMENTS	
				TYPE	MTL	FINISH	TYPE	MTL	FINISH			
SENIOR CENTER FF.												
000	3'-0"	8'-0"	1 3/4"	D5	ALUMGL	BLACK			ALUM	BLACK		HW-03
001A	6'-0"	8'-0"	1 3/4"	D5	ALUMGL	BLACK			ALUM	BLACK		HW-04 (PROVIDE ALTERNATE FOR ELECTRONIC FOB SYSTEM)
001B	8'-0"	8'-0"	1 3/4"	D6	ALUMGL	BLACK			ALUM	BLACK		HW-08
001C	3'-0"	7'-0"	1 3/4"	D1	WD	PT-2		F1	HM	PT-2		HW-06
001D	3'-0"	7'-0"	1 3/4"	D10	WD	BLACK		F1	HM	PT-2		HW-10
001E	3'-0"	7'-0"	1 3/4"	D10	WD	BLACK		F1	HM	PT-2		HW-10
001F	3'-0"	7'-0"	1 3/4"	D4	ALUMGL	BLACK		F1	HM	BLACK		HW-04 (PROVIDE ALTERNATE FOR ELECTRONIC FOB SYSTEM)
002	3'-0"	7'-0"	1 3/4"	D2	HM	PT-2		F1	HM	PT-2	45	HW-02
003	2'-8"	7'-0"	1 3/4"	D1	WD	PT-2		F1	HM	PT-2		HW-09
004	3'-0"	7'-0"	1 3/4"	D10	ALUMGL	BLACK		F1	HM	BLACK		HW-10
005	3'-0"	7'-0"	1 3/4"	D10	ALUMGL	BLACK		F1	HM	BLACK		HW-10
006	3'-0"	7'-0"	1 3/4"	D1	WD	BLACK		F1	HM	BLACK		HW-12
007	3'-0"	7'-0"	1 3/4"	D1	WD	BLACK		F1	HM	BLACK		HW-12
008A	6'-0"	7'-0"	1 3/4"	D5	ALUMGL	BLACK			ALUM	BLACK		HW-04
008B	6'-0"	7'-0"	1 3/4"	D5	ALUMGL	BLACK			ALUM	BLACK		HW-04
008C	3'-0"	6'-6"	1 3/4"	D2	HM	PAINTED TO MATCH RUSTED MTL. PANEL		F3	HM	PAINTED TO MATCH RUSTED MTL. PANEL		HW-03
008D	3'-0"	6'-6"	1 3/4"	D2	HM	PAINTED TO MATCH RUSTED MTL. PANEL		F3	HM	PAINTED TO MATCH RUSTED MTL. PANEL		HW-03
008E	6'-0"	7'-0"	1 3/4"	D5	ALUMGL	BLACK		F2	HM	BLACK		HW-04
008F	6'-0"	7'-0"	1 3/4"	D5	ALUMGL	BLACK		F2	HM	BLACK		HW-04
008G	3'-0"	7'-0"	1 3/4"	D4	ALUMGL	BLACK		F1	HM	BLACK		HW-04

HW-09: PROVIDE EACH SGL DOOR(S) WITH THE FOLLOWING:				
QTY	DESCRIPTION	CATALOG NUMBER	FINISH	MFR
3 EA	HINGE	5BB1 4.5 X 4.5	652	IVE
1 EA	PRIVACY LOCK	ND40S SPA	626	SCH
1 EA	SURFACE CLOSER	4050 REG OR PA AS REQ	689	LCN
1 EA	KICK PLATE	8400 10" X 2" LDW B-CS	630	IVE
1 EA	WALL STOP	WS406/407CVX	630	IVE

HW-10: PROVIDE EACH SGL DOOR(S) WITH THE FOLLOWING:				
QTY	DESCRIPTION	CATALOG NUMBER	FINISH	MFR
3 EA	HINGE	5BB1 4.5 X 4.5 NRP	652	IVE
1 EA	CLASSROOM LOCK	ND40S SPA	626	SCH
1 EA	FSIC CORE	23-030	626	SCH
1 EA	SURFACE CLOSER	4050 SCUSH	689	LCN
1 EA	KICK PLATE	8400 10" X 2" LDW B-CS	630	IVE

HW-11: PROVIDE EACH PR DOOR(S) WITH THE FOLLOWING:				
QTY	DESCRIPTION	CATALOG NUMBER	FINISH	MFR
6 EA	HINGE	5BB1 4.5 X 4.5 NRP	652	IVE
1 EA	PANIC HARDWARE	CD-3527A-DT-LBL	626	VON
1 EA	PANIC HARDWARE	CD-3527A-TL-LBR	626	VON
1 EA	RIM CYLINDER	20-057 ICX	626	SCH
2 EA	MORTISE CYLINDER	20-061	626	SCH
1 EA	FSIC CORE	20-030	626	SCH
2 EA	SURFACE CLOSER	4050 SCUSH	689	LCN
2 EA	KICK PLATE	8400 10" X 1" LDW B-CS	630	IVE

HW-12: PROVIDE EACH SGL DOOR(S) WITH THE FOLLOWING:				
QTY	DESCRIPTION	CATALOG NUMBER	FINISH	MFR
3 EA	HINGE	5BB1 4.5 X 4.5	652	IVE
1 EA	PUSH PLATE	8200 6" X 16"	630	IVE
1 EA	PULL PLATE	8303 10" 4" X 16"	630	IVE
1 EA	SURFACE CLOSER	4050 REG OR PA AS REQ	689	LCN
1 EA	KICK PLATE	8400 10" X 2" LDW B-CS	630	IVE
1 EA	WALL STOP	WS406/407CVX	630	IVE

OPERATIONAL DESCRIPTION: DOORS NORMALLY CLOSED AND UNLOCKED. PUSH/PULL OPERATION.

HW-13: PROVIDE EACH SGL DOOR(S) WITH THE FOLLOWING:				
QTY	DESCRIPTION	CATALOG NUMBER	FINISH	MFR
3 EA	HINGE	5BB1 4.5 X 4.5	652	IVE
1 EA	PUSH PLATE	8200 6" X 16"	630	IVE
1 EA	PULL PLATE	8303 10" 4" X 16"	630	IVE
1 EA	OH STOP	90S	630	GLY
1 EA	SURFACE CLOSER	4050 REG OR PA AS REQ	689	LCN
1 EA	KICK PLATE	8400 10" X 2" LDW B-CS	630	IVE

Architect:



www.bodhilandanddesign.com

BODHI Land and Design, PLLC.  
918 Minerva Dale Drive  
Fuquay Varina, NC 27526

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LUCK'S CANNERY  
REDEVELOPMENT  
-PHASE I-  
Seagrove, NC 27341

Stamp:



Issue For:

CONSTRUCTION

Issue Date:

09.27.2019

REVISIONS

NO.	REASON	DATE

PRINCIPAL IN CHARGE:  
D. WALKER

Project Address:

LUCK'S CANNERY - LOWER  
BLDG. RENNOVATION -  
PHASE IA

798 NC Hwy. 705 Seagrove,  
NC 27341

Project Number:

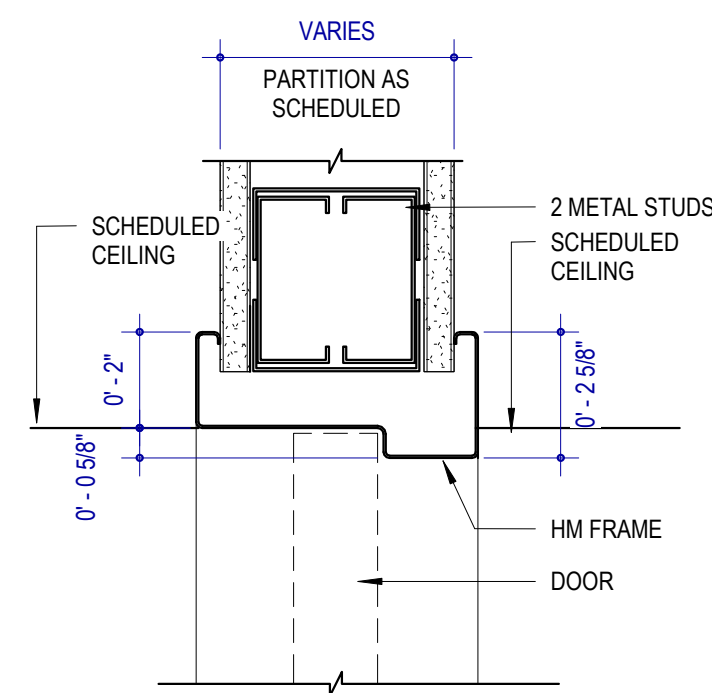
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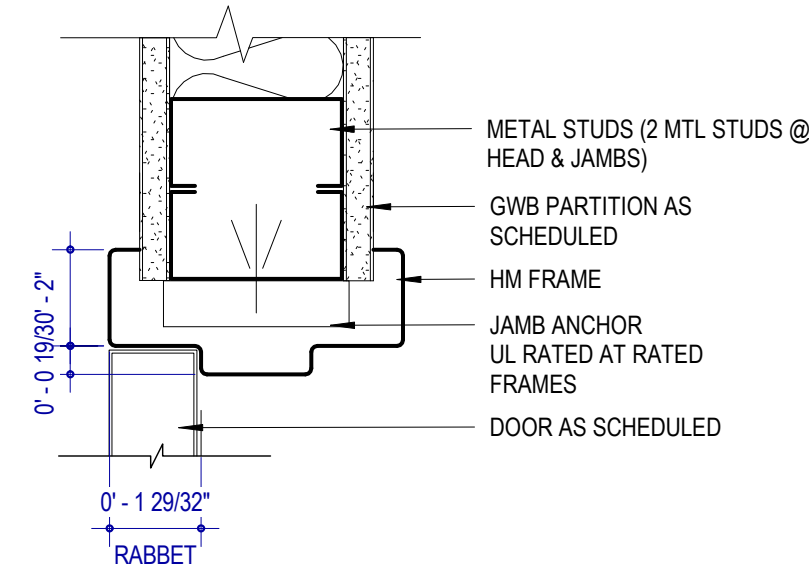
DOOR SCHEDULE

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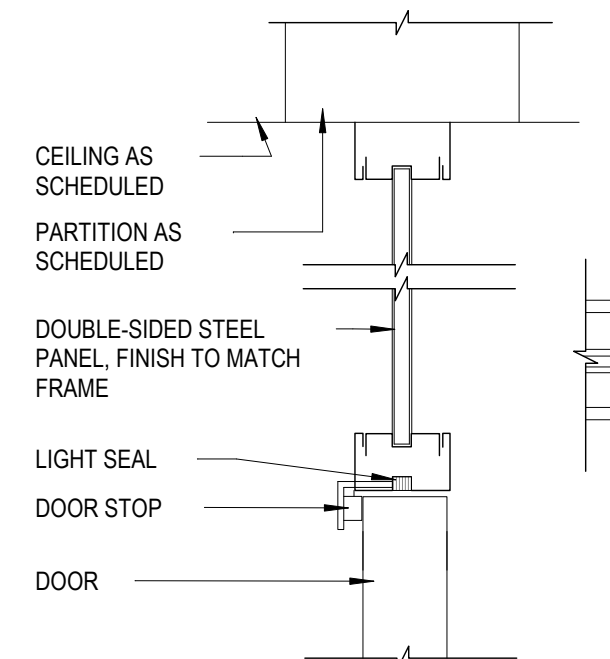
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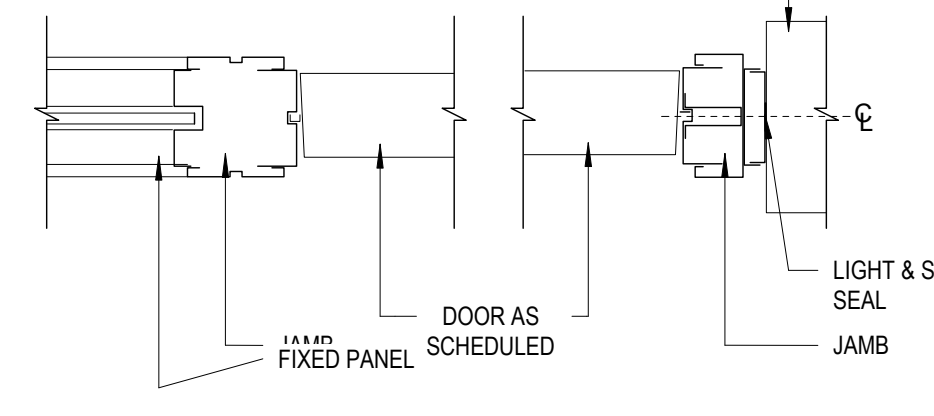
HM-8-H  
HOLLOW METAL HEAD AT OPPOSITE-SWING DOOR



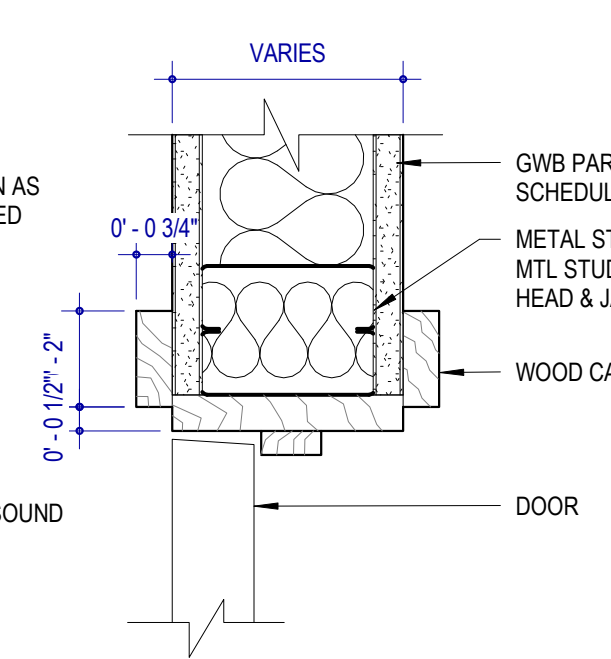
HM-1A-FM  
HOLLOW METAL FRAME



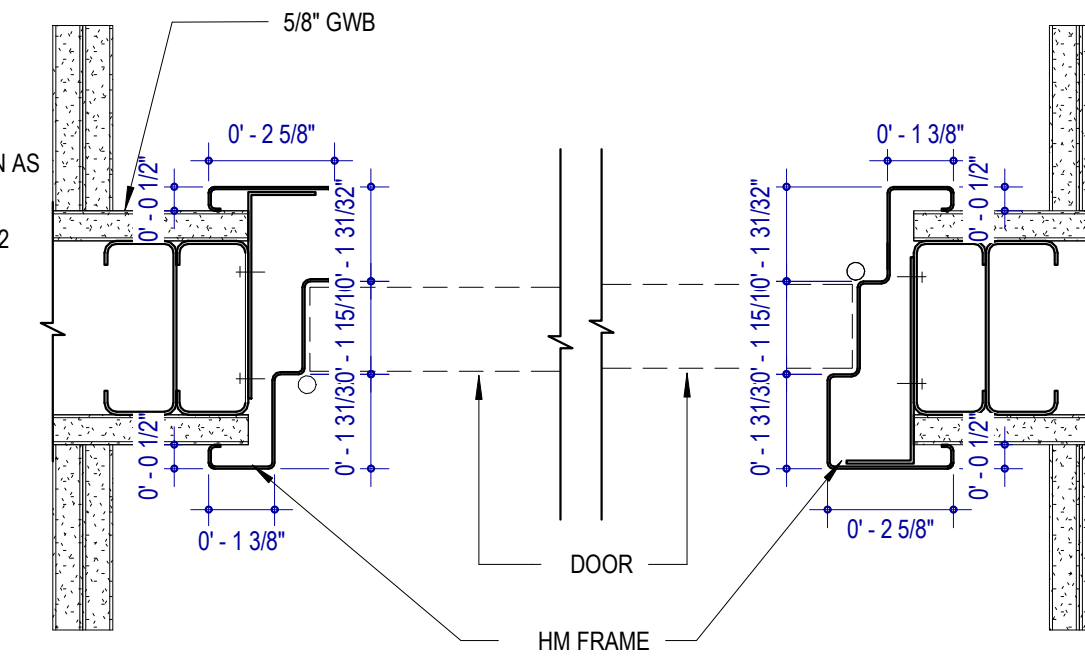
HM-4/5-H  
HEADER STEEL FRAME/TRANSOM AND PIVOT DOOR



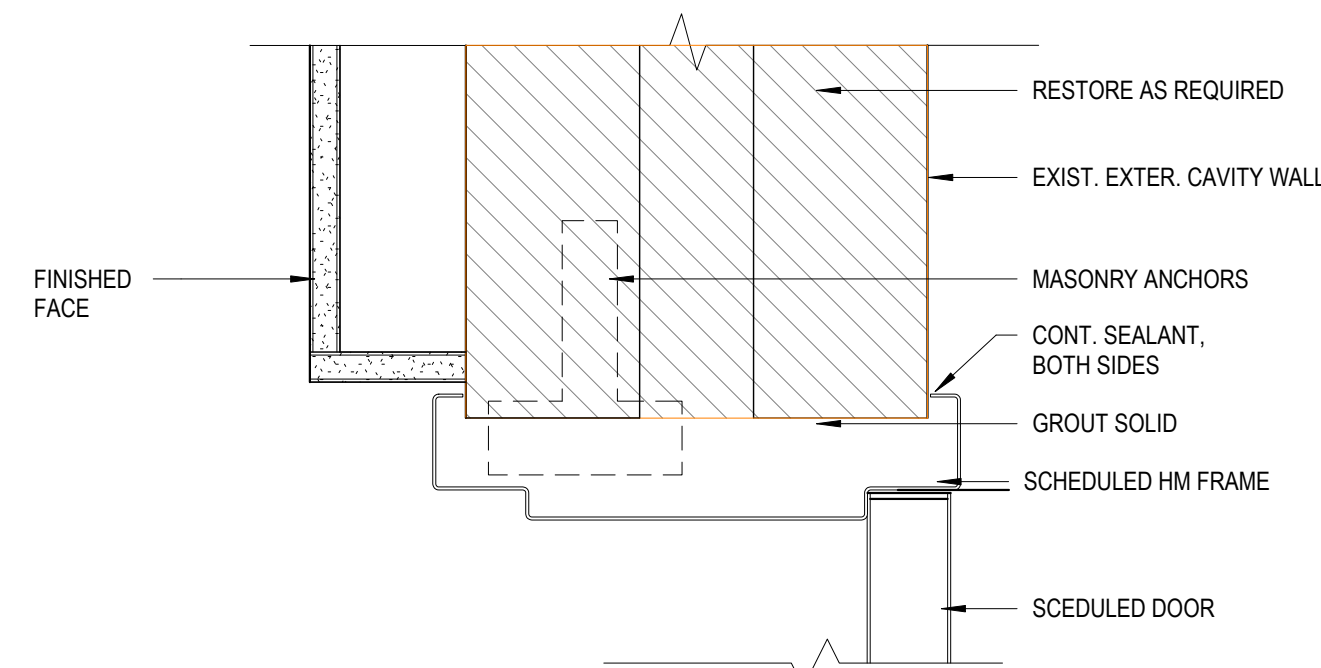
HM-4/5-J  
STEEL FRAME AND PIVOT DOOR



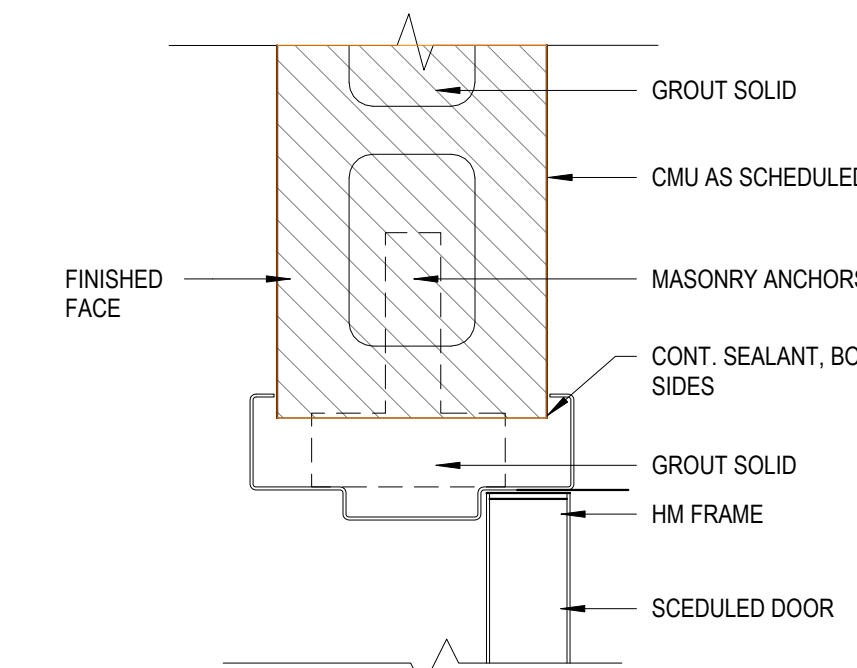
WD-1-FM  
WOOD FRAME



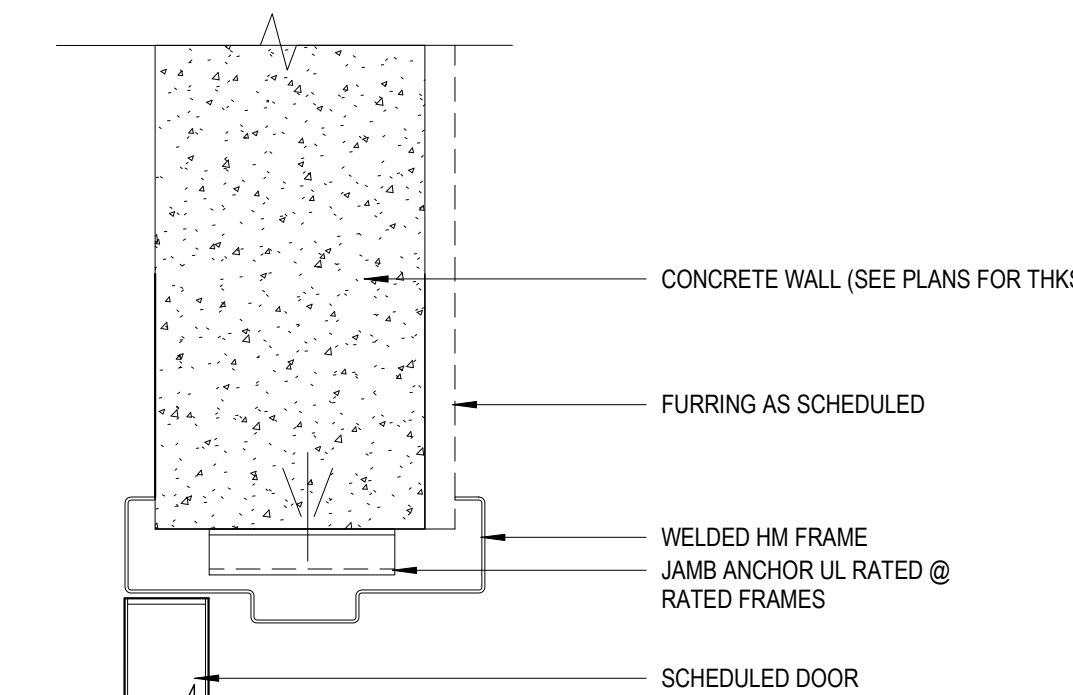
HM-8-J  
HOLLOW METAL JAMB AT OPPOSITE-SWING DOOR



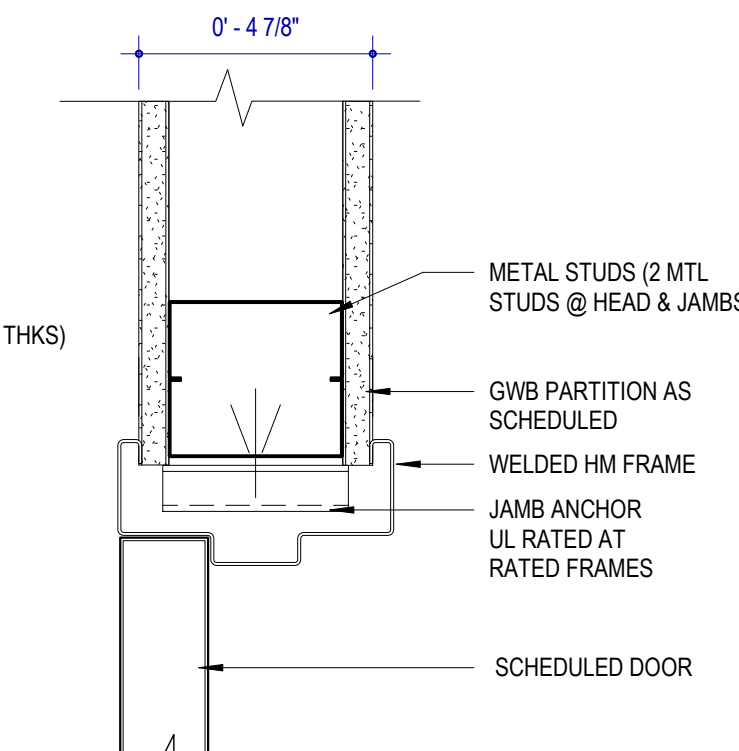
HJ-4  
HEAD SIM.  
HOLLOW METAL FRAME EXIST. CAVITY WALL



HJ-3  
HEAD SIM.  
HOLLOW METAL FRAME @ CMU WALL



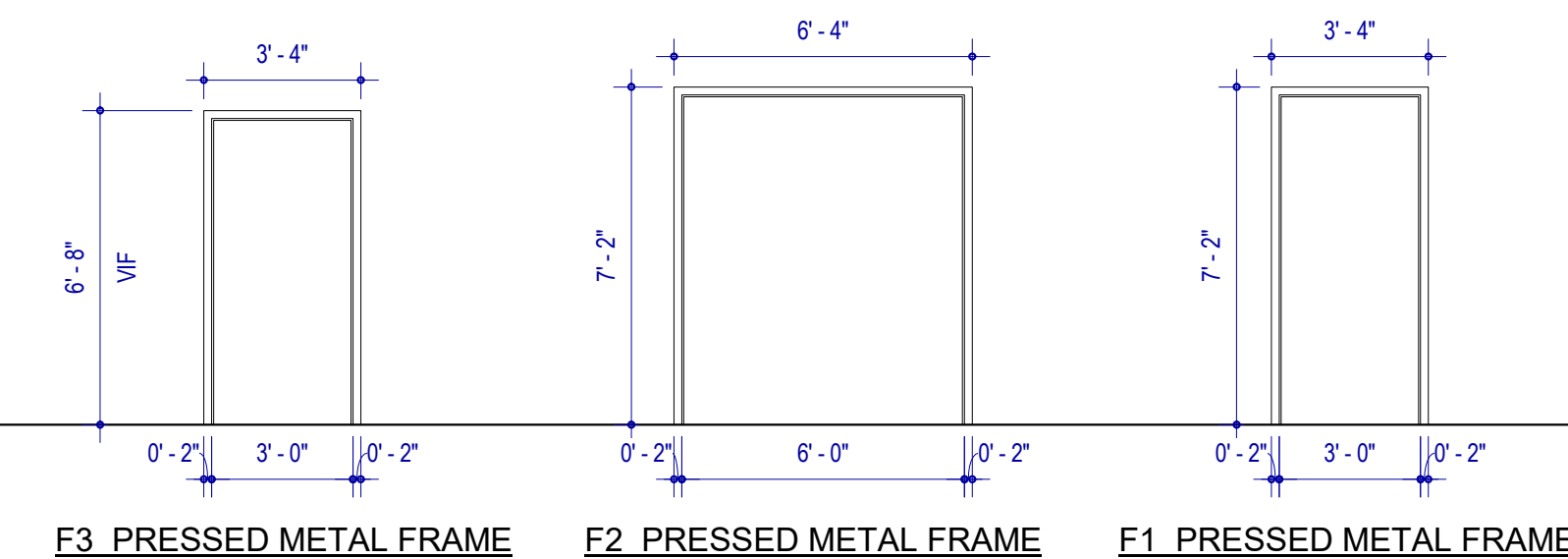
HJ-2  
HEAD SIM.  
HM FRAME @ CMU WALL



J-1  
HEAD SIMILAR  
HOLLOW METAL FRAME @ GYPSUM BOARD PARTITION

DOOR HEAD AND JAMB DETAILS  
3/4" = 1'-0"

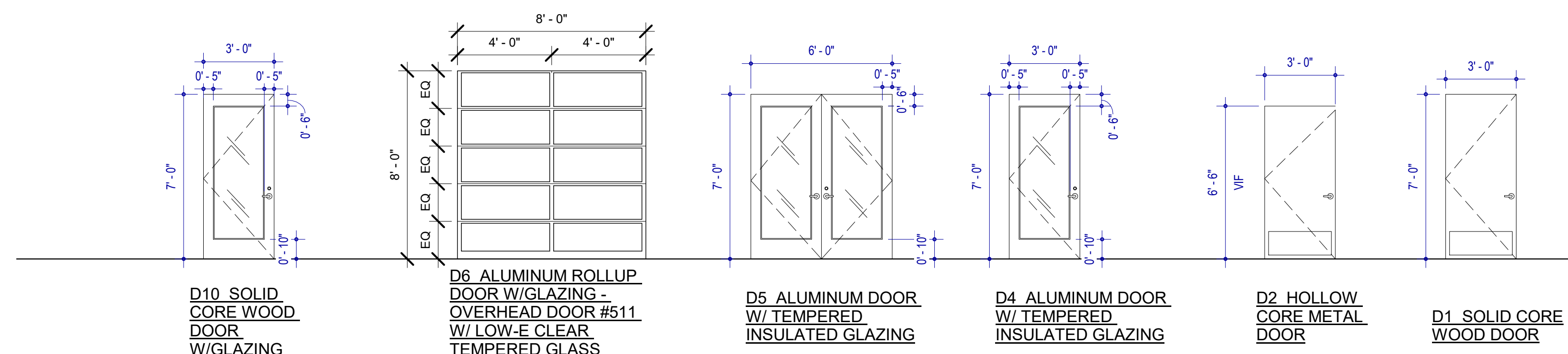
3



F3 PRESSED METAL FRAME F2 PRESSED METAL FRAME F1 PRESSED METAL FRAME

FRAME TYPES  
1/4" = 1'-0"

2



D10 SOLID CORE WOOD DOOR W/GLAZING  
D6 ALUMINUM ROLLUP DOOR W/GLAZING - OVERHEAD DOOR #511 W/ LOW-E CLEAR TEMPERED GLASS  
D5 ALUMINUM DOOR W/ TEMPERED INSULATED GLAZING  
D4 ALUMINUM DOOR W/ TEMPERED INSULATED GLAZING  
D2 HOLLOW CORE METAL DOOR  
D1 SOLID CORE WOOD DOOR

DOOR TYPES  
1/4" = 1'-0"

1

REVISIONS

NO.	REASON	DATE

SECTION 08 71 00 - DOOR HARDWARE

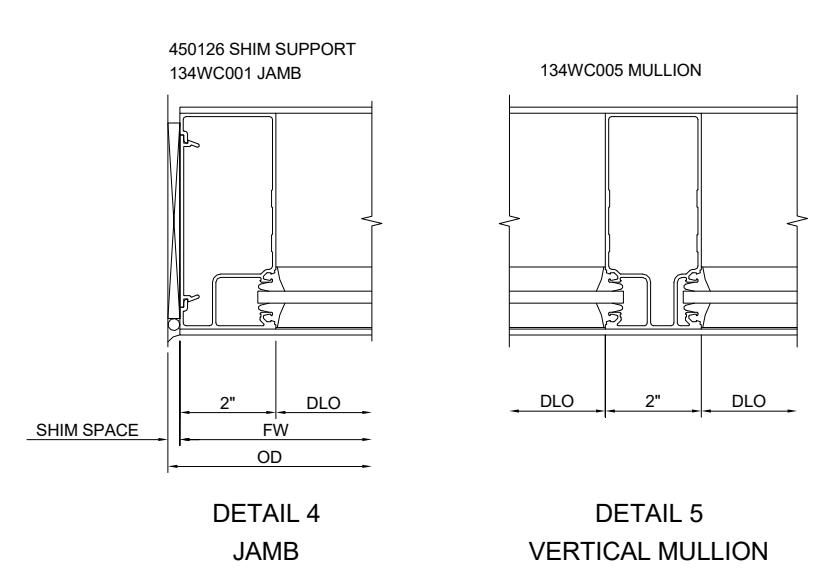
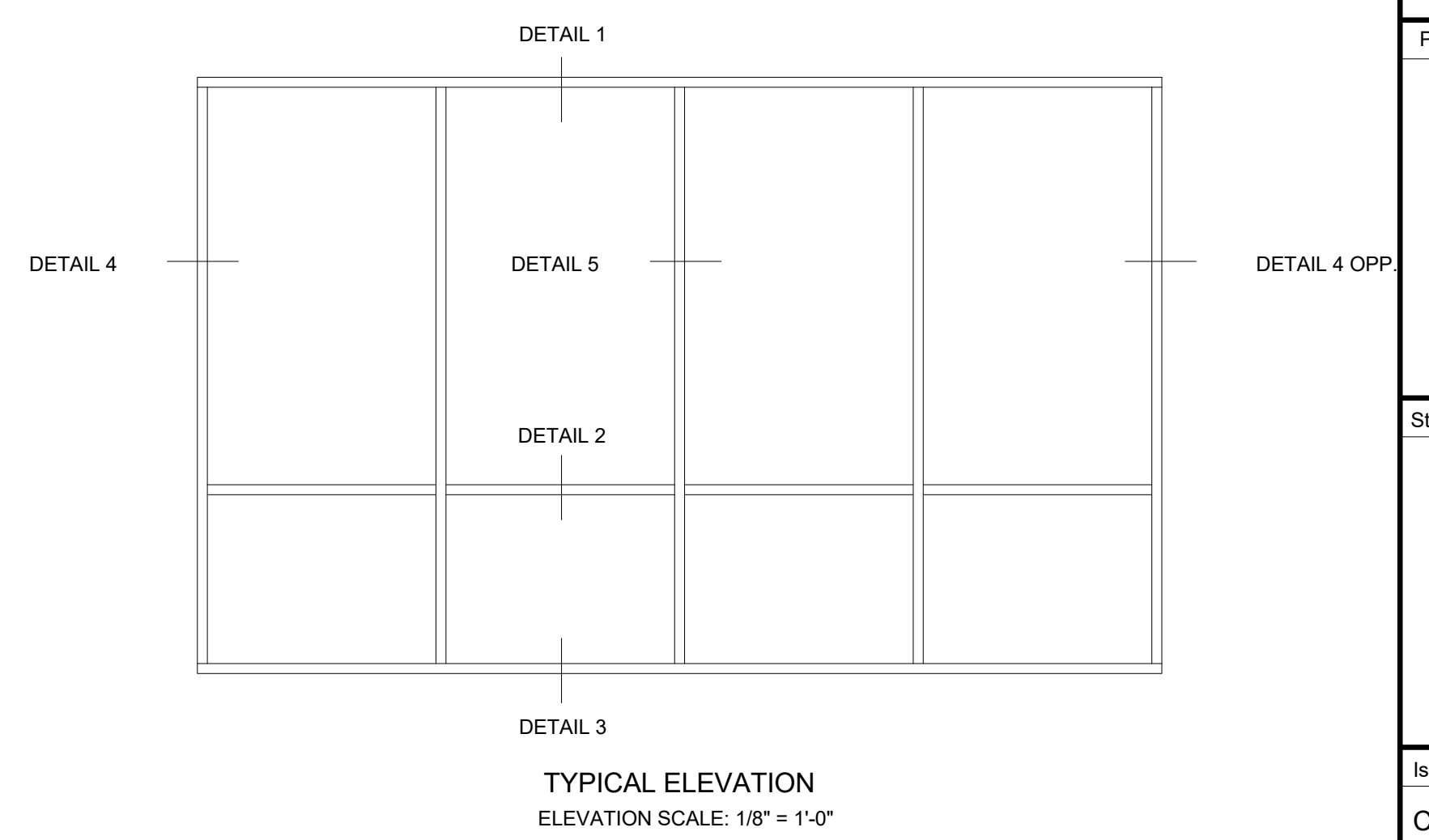
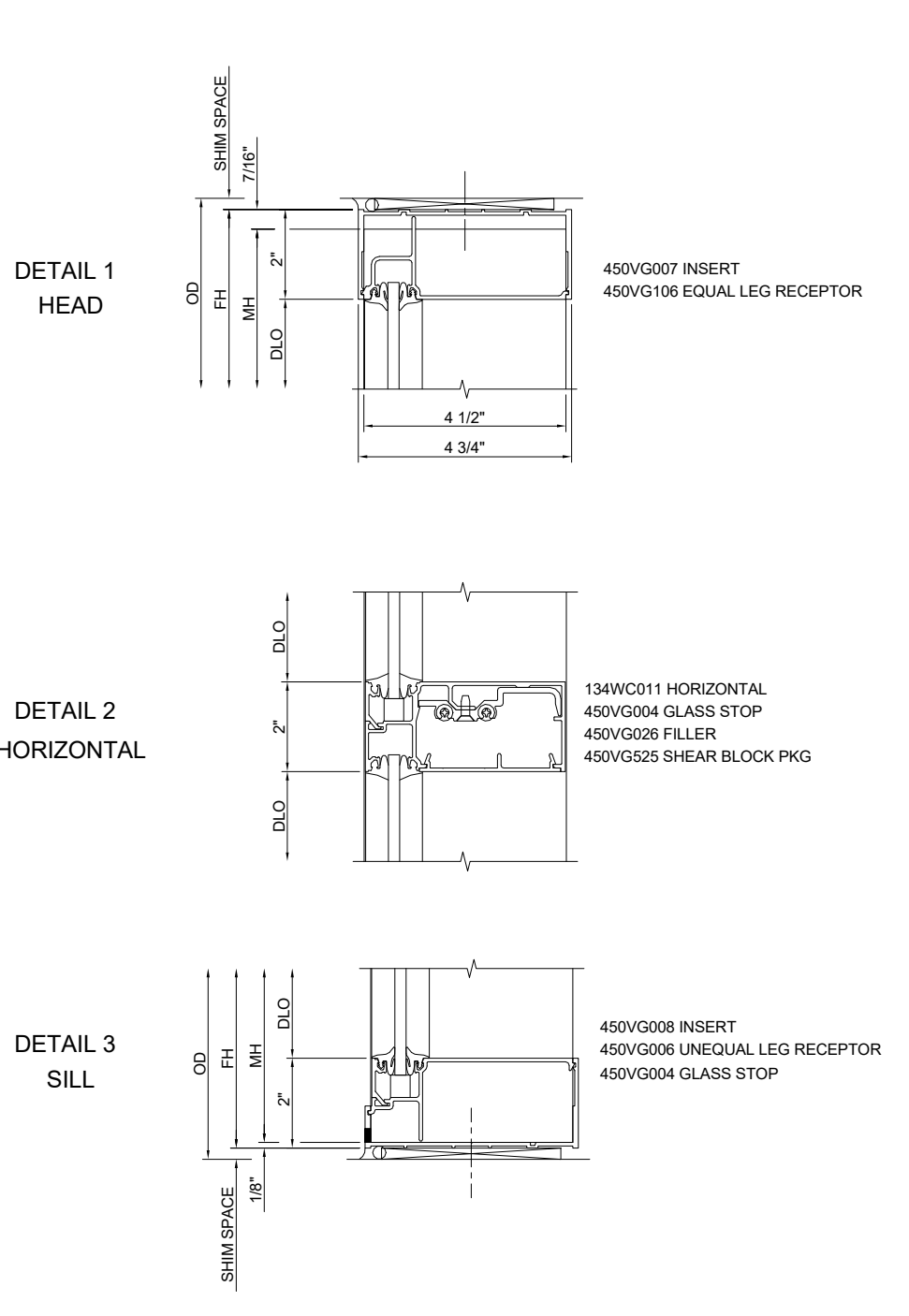
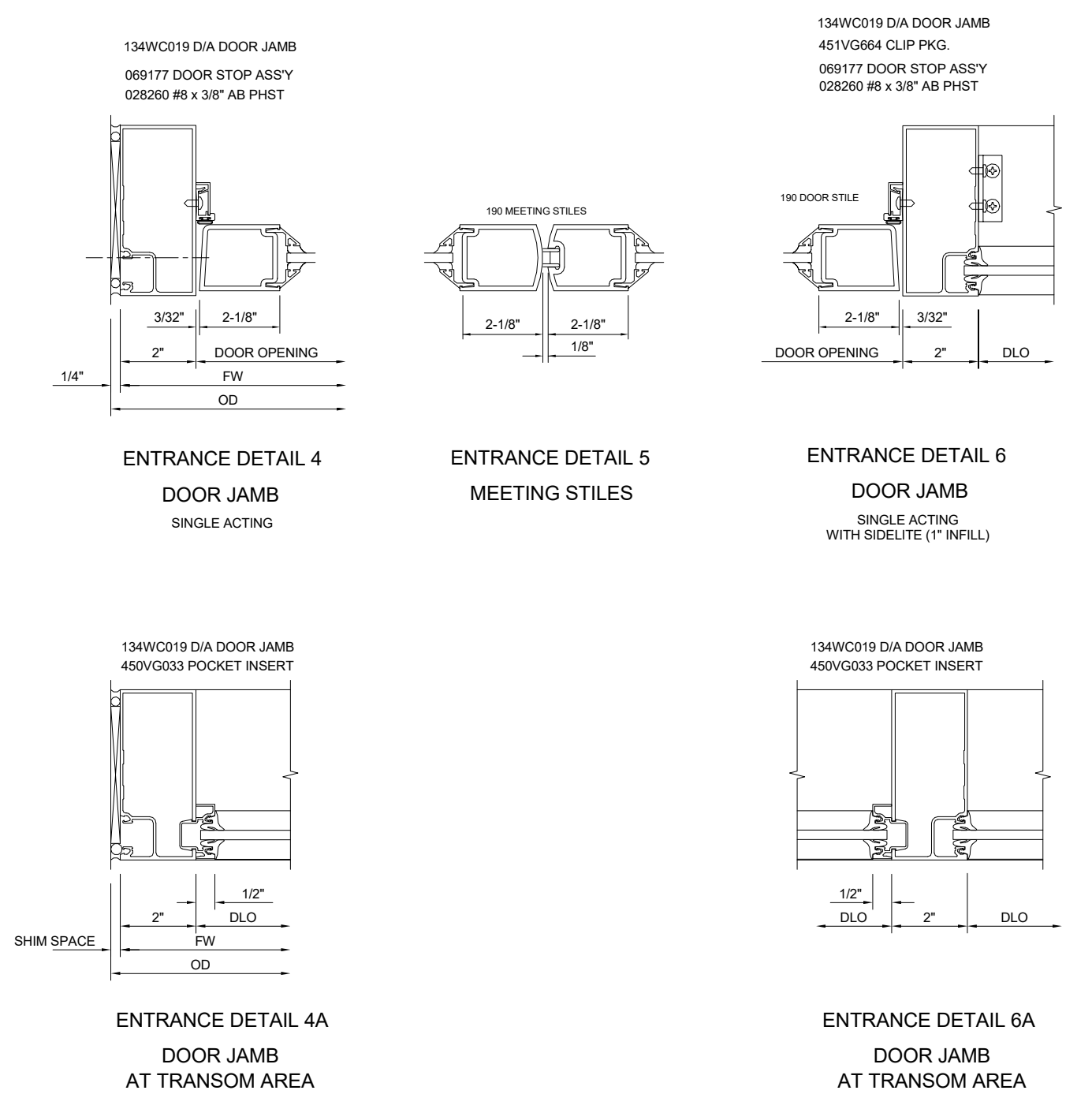
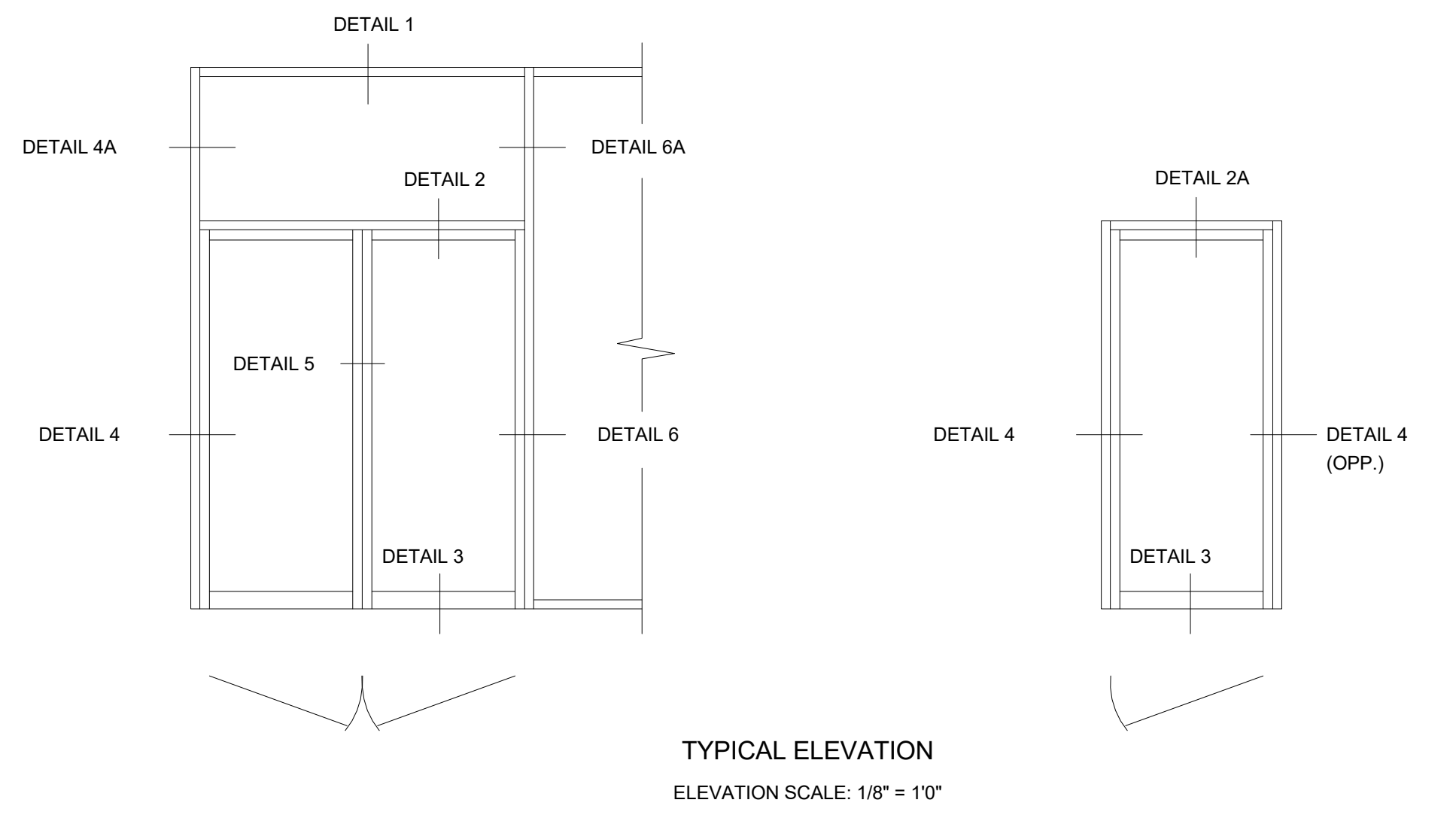
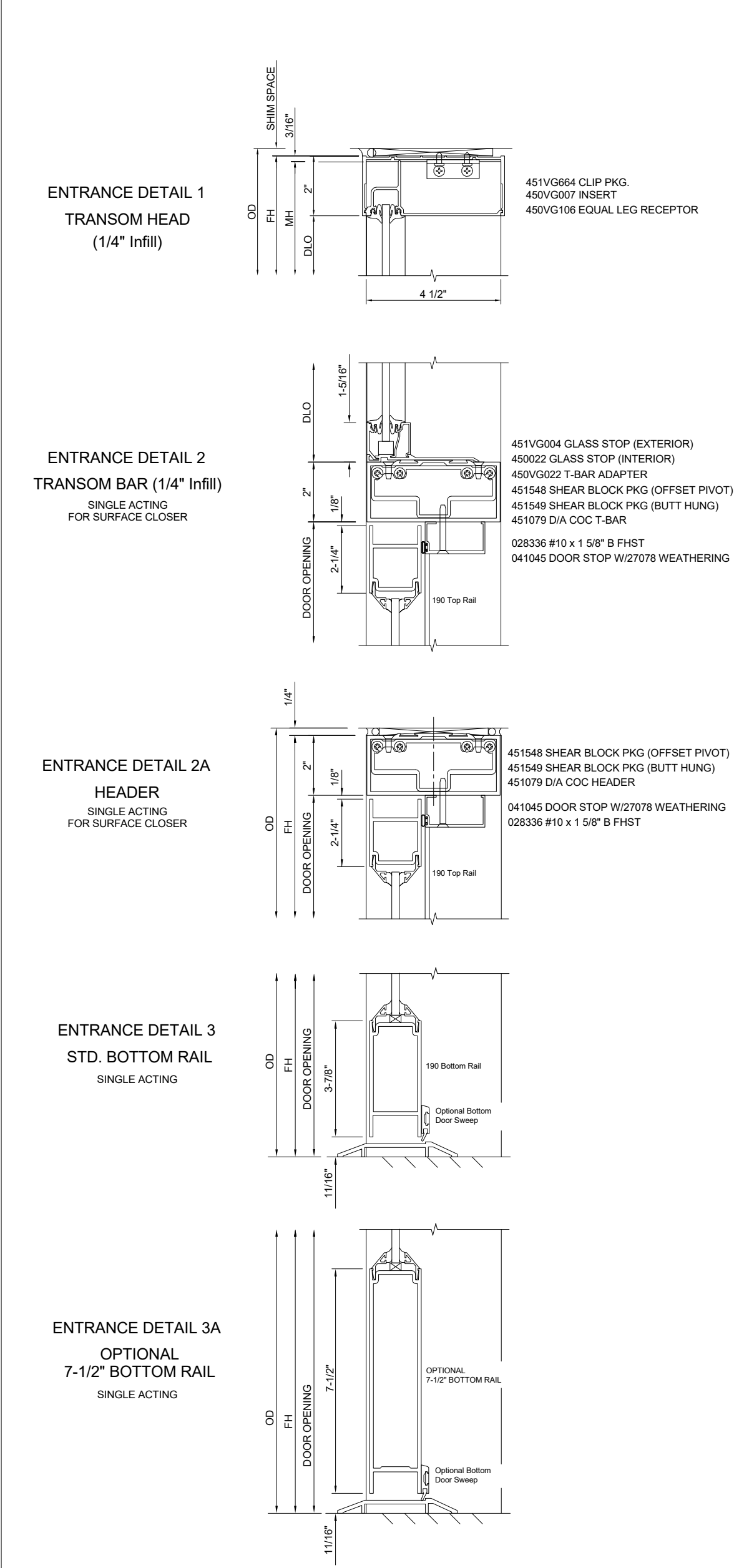
- 1.01 RELATED DOCUMENTS
1.02 SUMMARY
1.03 REFERENCES
1.04 SUBMITTALS
1.05 QUALITY ASSURANCE
1.06 DELIVERY, STORAGE, AND HANDLING
1.07 COORDINATION

- 1.08 WARRANTY
1.09 MAINTENANCE
2.01 MATERIALS
2.02 HINGES
2.03 CONTINUOUS HINGES
2.04 FLUSH BOLTS
2.05 CYLINDRICAL LOCKS - GRADE 1
2.06 EXIT DEVICES
2.07 CYLINDERS
2.08 KEYING

- 2.09 DOOR CLOSERS
2.10 DOOR TRIM AND HOLDERS
2.11 PROTECTION PLATES
2.12 OVERHEAD STOPS AND OVERHEAD STOP/HOLDERS
2.13 DOOR STOPS AND HOLDERS
2.14 THRESHOLDS, SEALS, DOOR SWEEPS, AUTOMATIC DOOR BOTTOMS, AND GASKETING
2.15 SILENCERS
2.16 DOOR POSITION SWITCHES
2.17 FINISHES
PART 3 EXECUTION
3.01 EXAMINATION
3.02 PREPARATION
3.03 INSTALLATION
3.04 FIELD QUALITY CONTROL
3.05 ADJUSTING

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LUCK'S CANNERY REDEVELOPMENT -PHASE I- Seagrove, NC 27341
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PRINCIPAL IN CHARGE: D. WALKER
Project Address:
LUCK'S CANNERY - LOWER BLDG. RENNOVATION - PHASE IA
798 NC Hwy. 705 Seagrove, NC 27341
Project Number: 201901.1
Sheet Title: DOOR SPECIFICATIONS
Sheet Number: A602

REVISIONS		
NO.	REASON	DATE

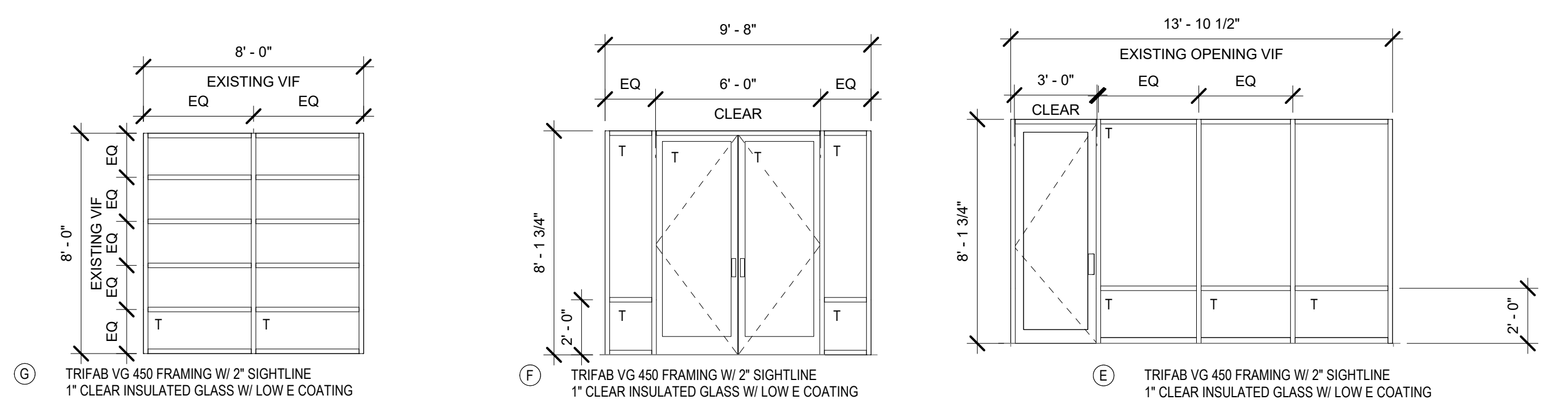


NOTE:  
 KAWNEER "190" NARROW STILE DOOR SHOWN ON THESE DETAILS.  
 OTHER KAWNEER DOORS MAY BE USED.

TRIFAB™ VG 450 FRAMING SYSTEM 2" SIGHTLINE  
 ENTRANCE DETAILS OFFSET PIVOT/BUTT HUNG WITH CONCEALED OVERHEAD CLOSER (1/4" INFILL)  
 DETAIL SCALE: 1" = 1"

TRIFAB™ VG 450 FRAMING SYSTEM 2" SIGHTLINE  
 FRONT SET - STICK ASSEMBLY OUTSIDE GLAZED (1/4" INFILL)  
 DETAIL SCALE: 1" = 1"

**STOREFRONT DETAILS**  
 3" = 1'-0" 2



**STOREFRONT / WINDOW SCHEDULE**  
 1/4" = 1'-0" 1

WALLS - Room Finish Key Schedule						
KEY NAME	MATERIAL	MANUFACTURER	SERIES/MODEL	COLOR	SIZE	REMARKS
PLAM	WHITE PLASTIC LAMINATE	FORMICA	459	BRITE WHITE		
FLOOR						
C-1	POLISHED & SEALED CONCRETE	TBD	TBD	NATURAL	N/A	MATCH EXISTING TOWN HALL FLOOR
BASE						
B-1	RUBBER BASE	TBD	TBD	TBD	1/8" THICK, 4" HIGH	STORAGE AREA AND MATCH EXISTING BASE IN TOWN HALL MEETING ROOM FOR ALL OTHER SENIOR CENTER AREAS
B-2	WOOD BASE	POPLAR	TBD	PAINTED P-2	3/4" THICK, 4" HIGH	FOR DRYWALL IN VESTIBULE
CT-2	CERAMIC BASE TILE	DALTILE	TBD	COLOR TO MATCH (SAIL AP06 - WHITE)	4"x8"	PROVIDE BULLNOSE TOPE EDGE - ALL RESTROOM & SHOWER AREAS
WALL						
CT-1	CERAMIC WALL TILE	DALTILE	ANNAPOLIS	SAIL AP06 - WHITE	6"x16"	
MP-1	1/8 MIN. GAUGE SHEET STEEL	(PROVIDED BY OWNER)		PRE-RUSTED AND SEALED	SEE ELEVATIONS	SEE PRE-RUSTING INSTRUCTIONS BELOW. PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR
PT-1	PAINT TO MATCH EXISTING	BENJAMINE MOORE		SEA PEARL OC-19	N/A	USE WATER PROOFING EXTERIOR PAINT
PT-2	EGGSHELL WALLPAINT - FLAT CEILING PAINT	BENJAMINE MOORE		WHITE OC-151		USE WATER PROOFING PAINT FOR INTERIOR/EXTERIOR MASONRY WALLS
CEILING						
ACP-1	ACOUSTICAL CEILING PANEL	ARMSTRONG	OPTIMA TEGULAR	WHITE	24"x24	6" TALL AXIOM TRIM FINISH RAL 9005 FOR FLOATING CLOUDS IN EXPO VESTIBULE
SAC-1	K-13 SPRAY ACCOUSTIC INSULATION	TBD	TBD	WHITE	2" THICK MIN.	
WD-1	WOOD T&G	EXIST	EXIST	EXIST-STAINED	EXIST	EXISTING TO REMAIN PATCH AND REPAIR TO MATCH EXISTING AS REQUIRED

PRE-RUSTED SHEET STEEL INSTRUCTIONS:

CLEAN RAW SHEET STEEL PANEL WITH DEGREASER

IF APPLYING A PATTERN, TAPE OFF PATTERN & SPRAY AREAS THAT YOU DO NOT WANT TO RUST WITH CLEAR SEALER

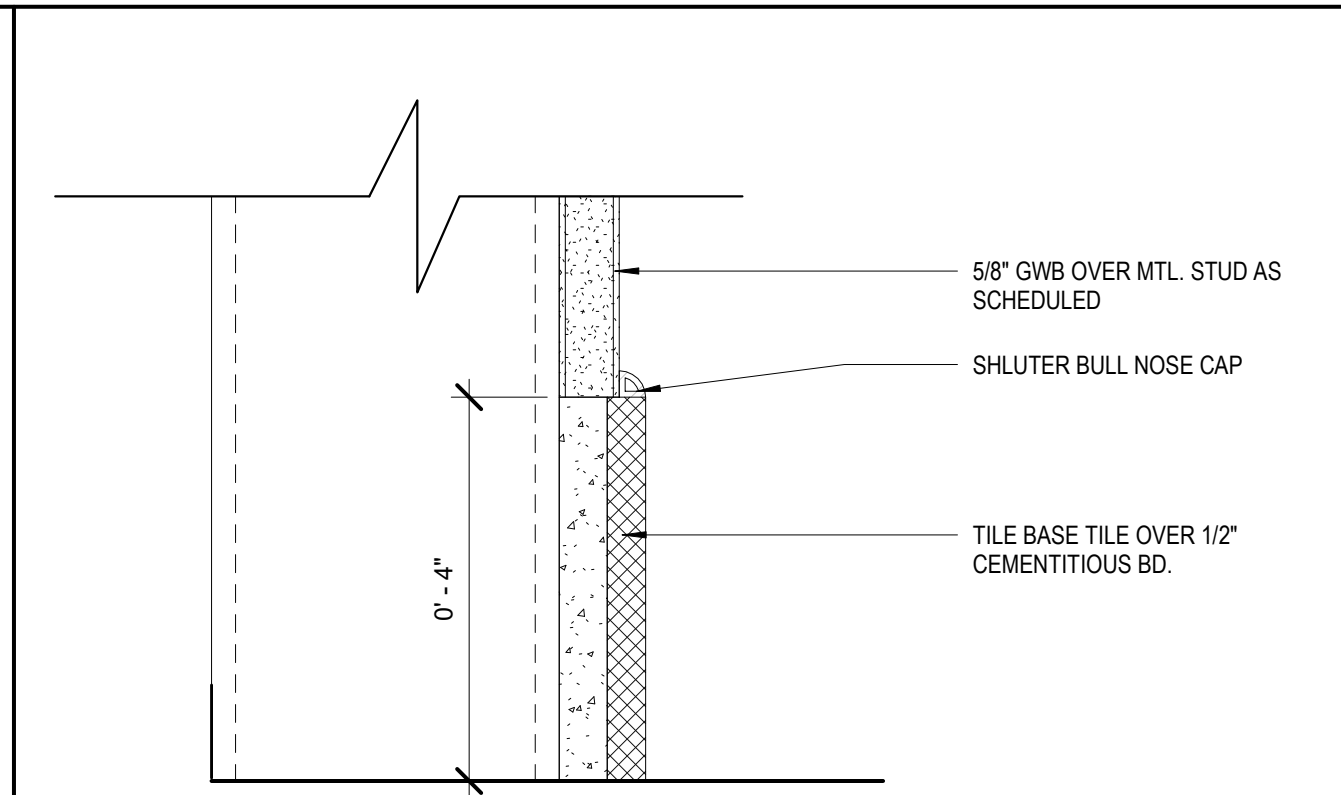
LET DRY, AND PULL TAPE OFF

SPRAY SHEET STEEL WITH VINAGER TO GET FULL COVERAGE AND LET SIT FOR FIVE MINUTES MIN.

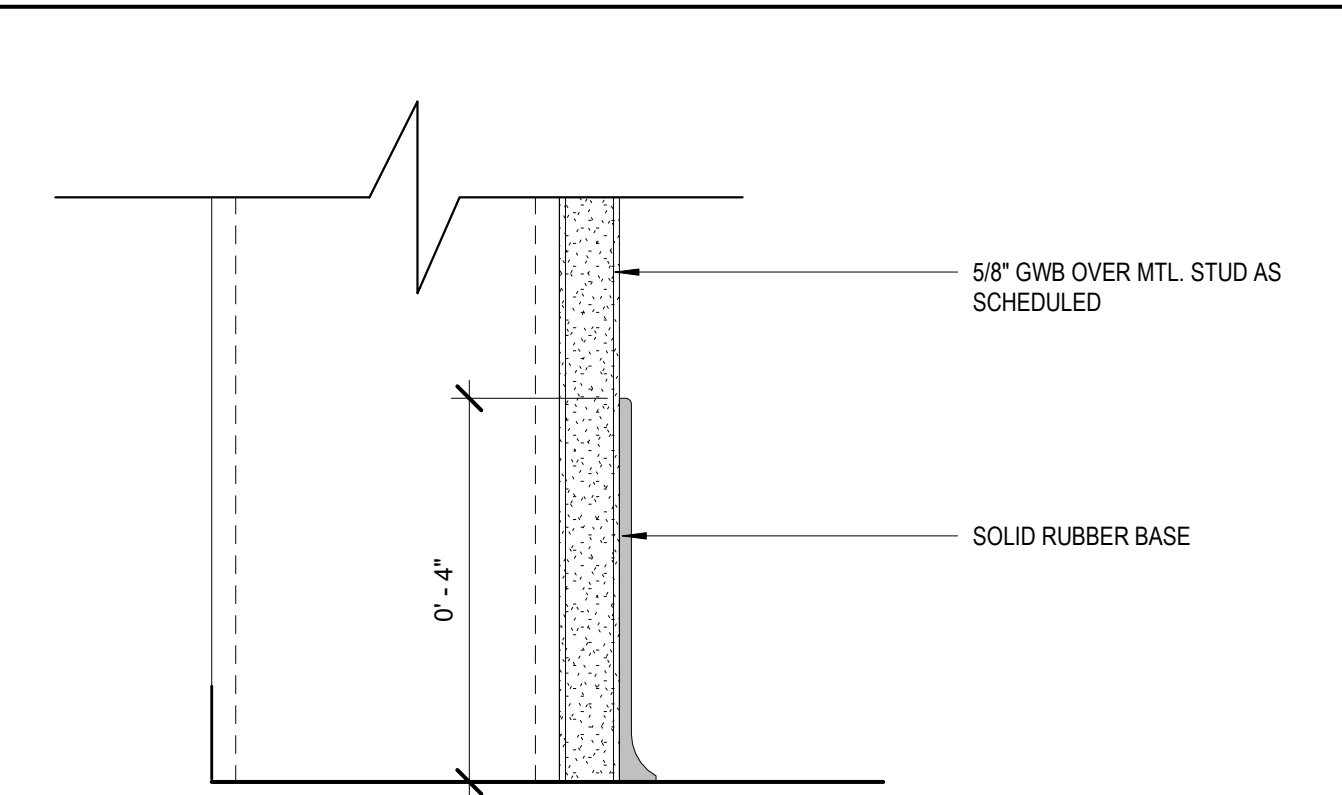
SPRAY SHEET STEEL WITH HYDROGEN PEROXIDE (W/ DISOLVED SALT IN PEROXIDE MIXTURE) TO GET FULL COVERAGE AND LET SIT FOR 5 MINUTES MIN.

HOSE OFF MIXTURE AND LET AIR DRY

APPLY CLEAR SEALER.



RESTROOM CERAMIC TILE BASE - CT-2  
6" = 1'-0" 2



TYP. INTERIOR RUBBER BASE DETAIL - B-1  
6" = 1'-0" 1

Architect:



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Project Owner:

**LUCK'S CANNERY  
REDEVELOPMENT  
-PHASE I-  
Seagrove, NC 27341**

Stamp:



Issue For:

CONSTRUCTION

Issue Date:

09.27.2019

REVISIONS

NO.	REASON	DATE

PRINCIPAL IN CHARGE:  
D. WALKER

Project Address:

LUCK'S CANNERY - LOWER  
BLDG. RENNOVATION -  
PHASE IA

798 NC Hwy. 705 Seagrove,  
NC 27341

Project Number:

201901.1

Sheet Title:

**FINISH SCHEDULE**

Sheet Number:

**A800**

ELECTRICAL ABBREVIATIONS

ABBREVIATION	DESCRIPTION	ABBREVIATION	DESCRIPTION	ABBREVIATION	DESCRIPTION
A	AMPERE	I	INTERRUPTING CAPACITY	S	SCHEDULE
AB	ABOVE IDENTIFY IDENTIFICATION	IC	ISOLATED GROUND	SCH	SECONDARY
ACET	ACETYLENE	IG	ISOLATED GROUND	SEC	SECONDARY
AC	ALTERNATING CURRENT	INCAND	INCANDESCENT	SF	SQUARE FEET
AF	AMPERE FRAME	INCO	INTERCOMMUNICATION	SFL	SUB-FEED LUGS
AFCI	ARC-FAULT CIRCUIT INTERRUPTER	IPS	INTERRUPTIBLE POWER SUPPLY	SH	SHEET
AFF	ABOVE FINISHED FLOOR	IR	INFRARED	SMT	SQUARE METER
AFG	ABOVE FINISHED GRADE	IWH	INSTANTANEOUS WATER HEATER	SMR	SURFACE METAL RACEWAY
AHU	AIR HANDLING UNIT	J	JUNCTION	SPC	SPACE
AIC	AMPERE INTERRUPTING CAPACITY	JB	JUNCTION BOX	SPD	SURGE PROTECTION DEVICE
ANN	ANNUNCIATOR	JCT	JUNCTION	SPDT	SINGLE POLE DOUBLE THROW
AT	AMPERE TRIP	K	KILO	SPKR	SPEAKER
ATS	AUTOMATIC TRANSFER SWITCH	KV	KILOVOLT-AMPERE	SPR	SPARE
AUX	AUXILIARY	KW	KILOWATT	SQ	SQUARE
AWG	AMERICAN WIRE GAUGE	KAIC	KILOAMPERES INTERRUPTING CAPACITY	SR	SURFACE RACEWAY
B	BUILDING AUTOMATION SYSTEM	KCMIL	KILO CIRCULAR MILS	STP	STOP-STOP
BATT	BATTERY	KVA	KILOVOLT-AMPERE	SS	STAINLESS STEEL
BB	BACKBOARD	KWH	KILOWATT HOUR	SSA	SOUND SYSTEM AMPLIFIER
BC	BARE COPPER	L	LONG, SHORT, INSTANTANEOUS, GROUND FAULT	STA	STATION
BW	BOTH WAYS	L.S.I.G.	LONG, SHORT, INSTANTANEOUS, GROUND FAULT	STP	SHIELDED TWISTED PAIR
BTM	BOTTOM	LTG	LIGHTING	SUSP	SUSPENDED
BWR	BREAKER	LT(S)	LIGHT(S)	SW	SWITCH
BLDG	BUILDING	LV	LOW VOLTAGE	SWBD	SWITCHBOARD
BMS	BUILDING MANAGEMENT SYSTEM	M	METER	SWGR	SWITCHGEAR
C	CONDUIT	MA	MAINTAINED	T	TELECOMMUNICATIONS BACKBOARD
CAB	CABINET	MAINT	MAINTAINED	TBB	TELEPHONE
CB	CIRCUIT BREAKER	MAX	MAXIMUM	TC	TEMPERATURE CONTROL PANEL
CATV	CABLE TELEVISION	MCC	MOTOR CONTROL CENTER	TEL	TELEPHONE
CKT	CIRCUIT	MCM	METAL CLAD CABLE	TEMP	TEMPORARY, TEMPERATURE
CL	CENTERLINE	MCA	MINIMUM CIRCUIT AMPS	TERM	TERMINAL, TEMPERATURE
CLG	CEILING	MCB	MAIN CIRCUIT BREAKER	T-STAT	THERMOSTAT
CO	COMPANY	MCC	MOTOR CONTROL CENTER	TTB	TELEPHONE TERMINAL BOARD
COL	COLUMN	MCM	METAL CLAD CABLE	TV	TELEVISION
COMM	COMMUNICATIONS	MCC	MOTOR CONTROL CENTER	TWSP	TWISTED SHIELDED PAIR
CONC	CONCRETE	MCP	MOTOR CIRCUIT PROTECTOR	TCM	TWISTED
CONN	CONNECTION, CONNECT	MDP	MAIN DISTRIBUTION PANELBOARD	TWU	THROUGH-THE-WALL UNIT
COORD	COORDINATE	MFR	MANUFACTURER	TYP	TYPICAL
CTR	CONTRACTOR	MI	MINERAL INSULATED CABLE	U	ULTRASONIC
CT	CURRENT TRANSFORMER	MH	METAL HALIDE, MANHOLE	UC	UNDER COUNTER
CTL	CONTROL	MIN	MINIMUM	UG	UNDERGROUND
CUH	CABINET UNIT HEATER	MLOP	MAXIMUM OVERCURRENT PROTECTION	UGC	UNDERGROUND CABLE TELEVISION
CLW	COOL WHITE	MCM	MOTOR CONTROL CENTER	UGD	UNDERGROUND DATA
D	DEEP	MT	MOUNTED	UGL	UNDERGROUND LIGHTING
DB	DECIBEL	MTD	MOUNTED	UGP	UNDERGROUND PRIMARY
DC	DIRECT CURRENT	MTR	MOTOR	UGS	UNDERGROUND SECONDARY
DET	DETECTOR	MV	MEDIUM VOLTAGE	UGT	UNDERGROUND TELECOM
DIA	DIAMETER	N	NORTH	UH	UNIT HEATER
DISC	DISCONNECT	NC	NORMALLY CLOSED	UON	UNLESS OTHERWISE NOTED
DIST	DISTRIBUTION	NEC	NATIONAL ELECTRICAL CODE	UPS	UNINTERRUPTIBLE POWER SUPPLY
DIV	DIVISION	NF	NON-FUSED	UTIL	UTILITY
DN	DOWN	NIC	NIGHT CONTRACT	UTP	UNSHIELDED TWISTED PAIR
DP	DISTRIBUTION PANELBOARD	NL	NIGHT LIGHT	V	VOLT, VOLTS
DWG	DRAWING	NO	NORMALLY OPEN	VA	VOLT-AMPERES
E	EACH	NTS	NOT TO SCALE	VAV	VARIABLE AIR VOLUME
EA	EMPTY CONDUIT	O	OR APPROVED EQUAL	VFD	VARIABLE FREQUENCY DRIVE
EC	ELECTRICAL CONTRACTOR	O.A.E.	OR APPROVED EQUAL	VM	VOLTMETER
E.C.	ELECTRICAL CONTRACTOR	OC	OVERCOUNTER	VS	VACANCY SENSOR
EF	EXHAUST FAN	OCPD	OVERCURRENT PROTECTIVE DEVICE	W	WIRE
EG	EQUIPMENT GROUND	OH	OVERHEAD	W	WITH
E.I.F.S.	EXTERIOR INSULATED FINISHED SYSTEM	OHD	OVERHEAD DOOR OPERATION	WP	WEATHER PROOF
ELEC	ELEVATION	OL	OVERLOAD	WT	WATERTIGHT
ELEV	ELEVATOR	OS	OCCUPANCY SENSOR	X	EXPLOSION PROOF
ELU	EMERGENCY LIGHT UNIT	P	POLE(S)	XFMR	TRANSFORMER
EMER	EMERGENCY	PA	PUBLIC ADDRESS	XM	EXISTING TO BE MAINTAINED
EMT	ELECTRICAL METALLIC TUBING	PB	PULL BOX	XN	EXISTING TO BE REMOVED AND REPLACE WITH NEW
ENCL	ENCLOSURE	PBN	PUSHBUTTON	XR	EXISTING TO BE REMOVED
EP	ELECTRICAL PANEL	PC	PHOTOCELL	XRE	EXISTING TO BE REMOVED AND RELOCATED, AS SHOWN AND EXTEND EXISTING CIRCUIT AND FEED AS REQUIRED
EPO	EMERGENCY POWER OFF	PF	POWER FACTOR	Y	WYE CONNECTION
EPR	ETHYLENE PROPYLENE RUBBER	PIR	PASSIVE INFRARED	Y	WYE CONNECTION
EQUIP	EQUIPMENT	PH0	PHASE	Z	ZONE ACCESS MODULE
ETC	ETCETERA	PL	PANEL LIGHT	ZAM	ZONE ACCESS MODULE
EUH	ELECTRICAL UNIT HEATER	PNL	PANEL	Q	QUADRUPLX
EWC	ELECTRICAL WATER COOLER	PNLBD	PANELBOARD	R	REMOVE
EWB	ELECTRICAL WALL HEATER	PR	PAIR	REC, RECP	RECEPTACLE
EX	EXISTING	PRI	PRIMARY	REFR	REFRIGERATOR
EXT	EXTERIOR	PVC	POLYVINYL CHLORIDE	RGS	RIGID GALVANIZED STEEL CONDUIT
F	FUSED	PWR	POWER	RM	ROOM
FA	FIRE ALARM	Q	QUAD	R	REMOVE
FAA	FIRE ALARM ANNUNCIATOR	QUAD	QUADRUPLX	REC, RECP	RECEPTACLE
FACP	FIRE ALARM CONTROL PANEL	R	REMOVE	REFR	REFRIGERATOR
FAGA	FIRE ALARM GRAPHIC ANNUNCIATOR	R	REMOVE	RGS	RIGID GALVANIZED STEEL CONDUIT
FCU	FAN COIL UNIT	R	REMOVE	RM	ROOM
FDR	FEEDER	R	REMOVE		
FIXT	FIXTURE	R	REMOVE		
FL	FLUORESCENT	R	REMOVE		
FLA	FULL LOAD AMPERES	R	REMOVE		
FLR	FLOOR	R	REMOVE		
FLEX	FLEXIBLE	R	REMOVE		
FO	FIBER OPTIC	R	REMOVE		
FUT	FUTURE	R	REMOVE		
FURN	FURNISH, FURNITURE	R	REMOVE		
G	GROUND	R	REMOVE		
GANN	GENERATOR ANNUNCIATOR	R	REMOVE		
GALV	GALVANIZED	R	REMOVE		
GEN	GENERATOR	R	REMOVE		
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	R	REMOVE		
GFP	GROUND FAULT PROTECTION	R	REMOVE		
GND	GROUND	R	REMOVE		
GTD	GENERATOR TRANSFER DEVICE	R	REMOVE		
GSP	GENERATOR STATUS PANEL	R	REMOVE		
H	HEAVY DUTY	R	REMOVE		
HD	HEIGHT	R	REMOVE		
HGT	HEIGHT	R	REMOVE		
HH	HAND HOLE	R	REMOVE		
HD	HIGH INTENSITY DISCHARGE	R	REMOVE		
HO	HIGH OUTPUT	R	REMOVE		
HOA	HAND-OFF-AUTOMATIC	R	REMOVE		
HP	HORSEPOWER, HEAT PUMP	R	REMOVE		
HPF	HIGH POWER FACTOR	R	REMOVE		
HPS	HIGH PRESSURE SODIUM	R	REMOVE		
HTR	HEATER	R	REMOVE		
HV	HIGH VOLTAGE	R	REMOVE		
HW	HOT WATER	R	REMOVE		

POWER	DESCRIPTION
	SINGLE RECEPTACLE WALL MOUNTED
	DUPLEX RECEPTACLE, DOT INDICATES NON-STANDARD HEIGHT. REFER TO ARCHITECTURAL ELEVATIONS FOR EXACT HEIGHT
	DUPLEX TV RECEPTACLE MOUNTED 54" ABOVE FINISHED FLOOR
	DOUBLE DUPLEX RECEPTACLE (A.K.A. QUADRUPLX)
	AFCI DUPLEX RECEPTACLE WALL MOUNTED
	PROVIDE (1) DUPLEX MOUNTED AT 18" A.F.F. FOR EACH KNEE SPACE WITH 3" WHIP MOUNTED ON REAR OF REMOVABLE PANEL OF THE KNEE SPACE
	DUPLEX RECEPTACLE WITH (1) DUPLEX RECEPTACLE AND (2) 2.1A USB CHARGERS (HUBBELL #USB20X2W - O.A.E.)
	GFCI DUPLEX RECEPTACLE WALL MOUNTED. "WP" DENOTES GFCI WEATHER RESISTANT RECEPTACLE WITH WEATHERPROOF WHILE-IN-USE COVER
	SURGE PROTECTOR DUPLEX RECEPTACLE WALL MOUNTED
	DUPLEX RECEPTACLE PRE WIRED MULTI-OUTLET ASSEMBLY MOUNTED
	GFI DUPLEX RECEPTACLE PRE WIRED MULTI-OUTLET ASSEMBLY MOUNTED
	SURGE PROTECTOR DUPLEX RECEPTACLE PRE WIRED MULTI-OUTLET ASSEMBLY MOUNTED
	DUPLEX RECEPTACLE CEILING MOUNTED
	DOUBLE DUPLEX RECEPTACLE CEILING MOUNTED
	SPECIAL PURPOSE RECEPTACLE "3" INDICATES TYPE, REFER TO SPECIAL PURPOSE RECEPTACLE SCHEDULE, THIS SHEET.
	FLUSH MOUNTED POKE THRU DEVICE. PROVIDE TWO DUPLEX RECEPTACLES AND PROVISIONS FOR TELECOM (WITH INSULATED BUSHINGS). USE HUBBELL S1PT4X4BL WITH PLATE S1SP4XL PROVIDE WITH BLACK COVER PLATE FOR USE IN CARPETED FLOORS HUBBELL S1GFCBL AND TILE FLOORS HUBBELL S1TFGBL
	FLUSH MOUNTED POKE THRU DEVICE. PROVIDE SINGLE RECEPTACLE AND PROVISIONS FOR TELECOM (WITH INSULATED BUSHINGS). USE HUBBELL S1PT4X4BL WITH PLATE S1SP4XL PROVIDE WITH BLACK COVER PLATE FOR USE IN CARPETED FLOORS HUBBELL S1GFCBL AND TILE FLOORS HUBBELL S1TFGBL
	JUNCTION BOX, SURFACE OR WALL MOUNTED, FOR CONNECTION TO EQUIPMENT AS INDICATED:
	"ATC" AUTOMATIC TEMPERATURE CONTROL SYSTEM
	"CTI" CONTROLS
	"DSP" SINK DISPOSAL
	"DP" MOTORIZED DOOR OPERATOR
	"FA" FIRE ALARM SYSTEM
	"FH" FUME HOOD
	"HD" ELECTRICALLY POWERED HAND DRYERS
	"HT" HEAT TRACE
	"HW" INSTANT HOT WATER
	"LL" LIGHTING LOAD CONNECTION
	"LT" AHJ LIGHTING
	"MS" MOTORIZED SUN SHADE
	"MB" MOTORIZED BLACKOUT SHADE
	"MC" MOTORIZED CHALKBOARD
	"MP" MOTORIZED PROJECTION SCREEN
	"SD" SMOKE DAMPER
	"SEC" SECURITY SYSTEM
	NON-FUSED DISCONNECT SWITCH
	FUSED DISCONNECT SWITCH 30A/3P WITH 15A FUSED
	MOTOR, (# INDICATES HORSE POWER)
	MAGNETIC MOTOR STARTER
	COMBINATION FUSED MAGNETIC MOTOR STARTER
	MANUAL MOTOR STARTER
	CONTROL PANEL
	PUSH BUTTON FOR MOTORIZED DOOR
	PUSHBUTTON
	EMERGENCY POWER OFF
	PUSHBUTTON STATION
	ENCLOSED CIRCUIT BREAKER
	PULLBOX
	TAP BOX
	DRY TYPE DISTRIBUTION TRANSFORMER
	208/120V PANELBOARD RECESSED MOUNTED
	208/120V PANELBOARD SURFACE MOUNTED
	480/277V PANELBOARD RECESSED MOUNTED
	480/277V PANELBOARD SURFACE MOUNTED
	DISTRIBUTION PANELBOARD SURFACE MOUNTED
	RACEWAY
	RACEWAY TURNING DOWN
	RACEWAY TURNING UP
	HOMERUN TO PANELBOARD
	CIRCUITING BREAK LINE
	CIRCUIT CONTINUED
	GROUNDING BUS BAR "MGB" DENOTES ELECTRICAL/ROOM GROUNDING BUS BAR "GB" DENOTES ELECTRICAL CLOSET GROUNDING BUS BAR "TGB" DENOTES TELECOM ROOM GROUNDING BUS BAR
	EQUIPMENT TAG
	EQUIPMENT WITH ELECTRICAL LOAD
	GENERATOR ANNUNCIATOR

LIGHTING	DESCRIPTION
	2 X 2' LINEAR LIGHT FIXTURE "F1" DENOTES FIXTURE TYPE "1" DENOTES CIRCUIT NUMBER
	EXIT LIGHT FIXTURES-CEILING MOUNTED -SHADING INDICATES SIDE OF ILLUMINATION -ARROWS INDICATES DIRECTION
	EXIT LIGHT FIXTURES-WALL MOUNTED -SHADING INDICATES SIDE OF ILLUMINATION -ARROWS INDICATE DIRECTION
	EMERGENCY BATTERY UNIT, UL RATED FOR 90MIN
SWITCHING & CONTROLS	
	SWITCH-SINGLE POLE MOUNTED 48" A.F.F. UNLESS NOTED OTHERWISE
	SWITCH-THREE WAY
	DIMMER
	OCCUPANCY SENSOR DUAL TECHNOLOGY, EXTENDED RANGE - CEILING MOUNTED.
	DAYLIGHT SENSOR CLOSED LOOP - CEILING MOUNTED.
	LIGHTING CONTROL POWER PACK LETTER SUBSCRIPT DENOTES SWITCH CONTROL. MULTIPLE LETTER SUBSCRIPT DENOTES DUAL RELAY REQUIRED. NUMBER SUBSCRIPT DENOTES CIRCUIT NUMBER R - SUBSCRIPT DENOTES SWITCH CONTROL FOR RECEPTACLE LOADS
LIGHTING SENSOR DEVICE SCHEDULE NOTES:	
1.	ALL DEVICES ABOVE BY SENSOR SWITCH (OR APPROVED EQUAL).
2.	OCCUPANCY SENSOR SWITCHING DURATION: CLASSROOMS, "ON" FOR 20 MINUTES RESTROOMS, "ON" FOR 15 MINUTES OFFICES, "ON" FOR 10 MINUTES CORRIDORS/STAIRWELLS, "ON" FOR 10 MINUTES
ONE LINE	
100-4G	FEEDER TAG. REFER TO FEEDER SCHEDULE.
	HOOK WITH TAG INDICATES FEEDER SCHEDULE DESIGNATION
	DRY TYPE ENERGY EFFICIENT TRANSFORMER "2" INDICATES SIZE, REFER TO DRY TYPE TRANSFORMER SCHEDULE
	SURGE PROTECTION DEVICE
	VARIABLE FREQUENCY DRIVE
	POWER QUALITY METER
	CUSTOMER METER WITH LINK TO MASTER METER AT SWITCHBOARD
	CUSTOMER MASTER METER. RUN DATA CABLE FROM THIS METER TO BAS
	PANELBOARD
	ELECTRICAL DISCIPLINE
	SERIES/GROUP NUMBER
	DRAWING NUMBER
E001	GENERAL (INDEX, SYMBOLS, ABBREVIATIONS, LEGEND)
E002	SITE PLAN
E100	LIGHTING PLANS
E200	POWER AND SYSTEMS PLANS
E300	LOW VOLTAGE SYSTEMS
E400	RISER DIAGRAMS
E500	SCHEDULES
E600	ELECTRICAL DETAILS & ENLARGED PLANS
E700	LIGHTING CALCULATIONS PLANS

KEYED NOTE:  
 KEYED NOTE REFERENCE SYMBOL. ONLY REFERS TO KEYED NOTE ON SAME DRAWING. KEYED NOTES APPLY ONLY WHERE REFERENCED ON PLAN.

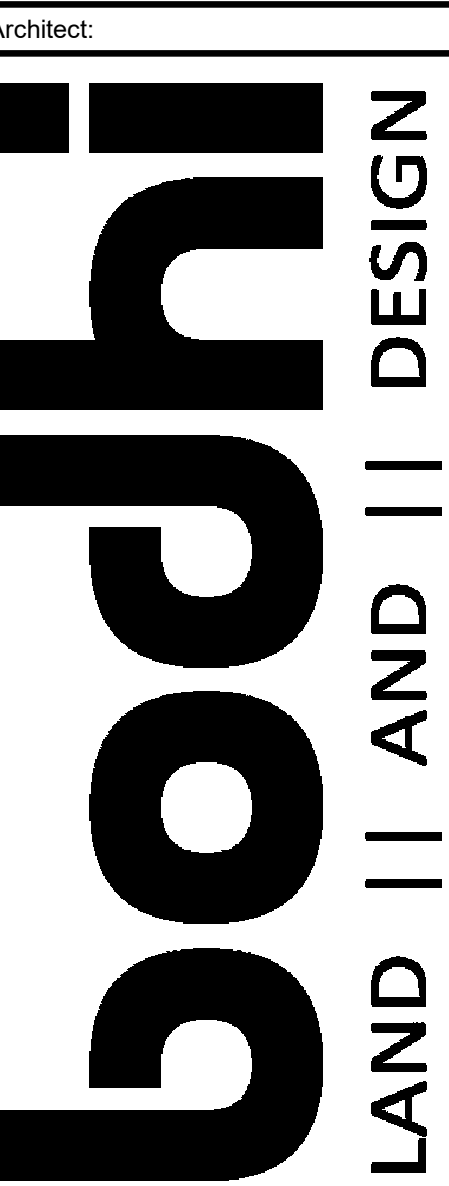
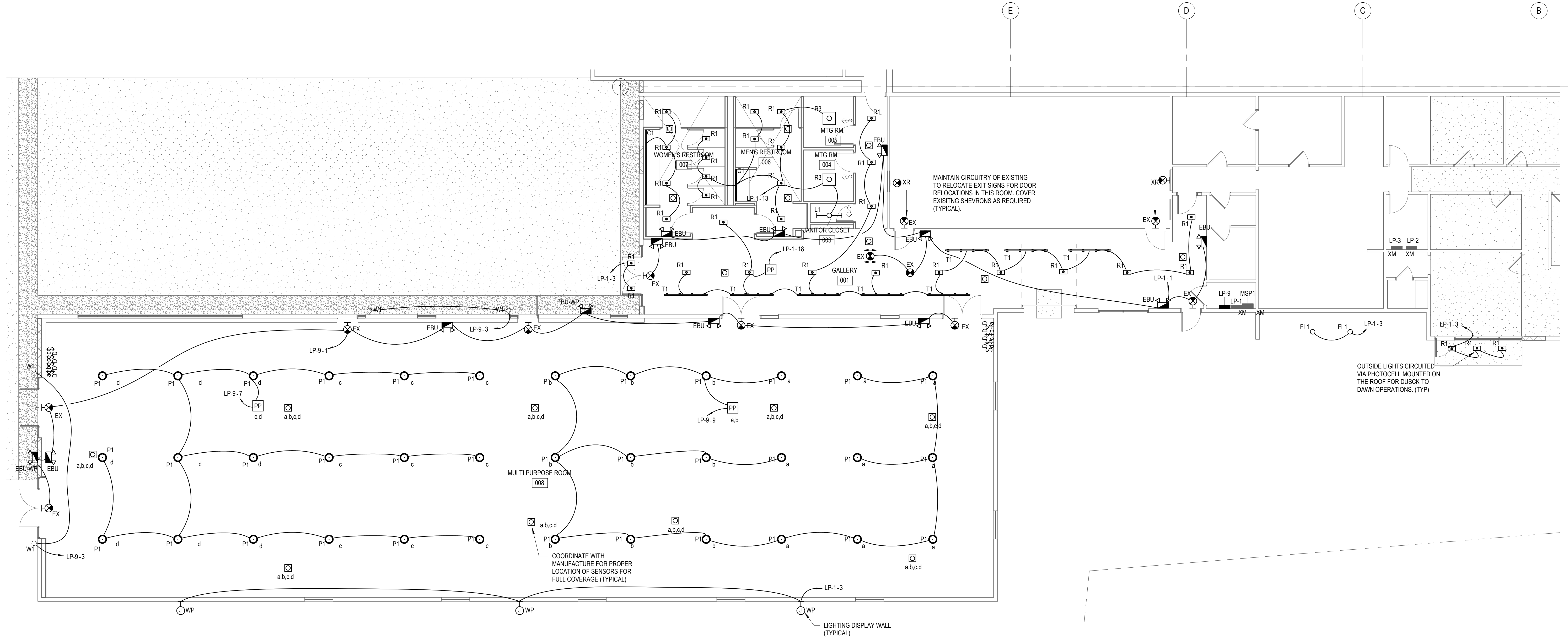
WIRING AND EQUIPMENT NOTES:	DESCRIPTION
1.	ALTHOUGH NOT ALL BRANCH CIRCUIT WIRE AND RACEWAY ARE SHOWN, IT IS THE INTENT OF THESE DOCUMENTS THAT A COMPLETE BRANCH CIRCUIT WIRING SYSTEM BE INSTALLED.
2.	RACEWAYS SHALL BE LIMITED TO SIX CURRENT CARRYING CONDUCTORS FOR 20A CIRCUITS ONLY (THREE PHASE AND THREE NEUTRALS) AND GROUNDING CONDUCTOR, UNLESS OTHERWISE INDICATED. FOR ALL OTHER MULTIPLE CIRCUIT RACEWAYS DERATE CONDUCTORS AS REQUIRED BY NEC ARTICLE 310.15. A GREEN GROUND CONDUCTOR SHALL BE RUN WITH ALL BRANCH CIRCUITS AND FEEDERS. PROVIDE A DEDICATED NEUTRAL CONDUCTOR FOR EACH SINGLE PHASE CIRCUIT. SHARED NEUTRAL WILL NOT BE ALLOWED.
3.	ALL ELECTRICAL SYSTEMS SHALL BE SUITABLY GROUNDED, INCLUDING ALL NON-CURRENT CARRYING METALLIC COMPONENTS OF ALL EQUIPMENT AND METALLIC CONDUITS. GROUNDING SHALL BE ACCOMPLISHED AS REQUIRED BY THE NATIONAL ELECTRIC CODE.
4.	WIRING INDICATED BY CIRCUIT NUMBER SYMBOL SHALL INCLUDE A NEUTRAL WHEN THE LOAD SERVED HAS PROVISIONS FOR, OR REQUIRES A NEUTRAL.
5.	PRIOR TO INSTALLATION OF ANY OUTLETS, COORDINATE WITH ARCHITECTURE DRAWINGS FOR EXACT LOCATIONS.
6.	ALL 20A OUTLETS SHALL BE WIRED WITH #12 AWG WIRE EXCEPT FOR CIRCUITS OVER 125 FEET IN LENGTH SHALL BE #10 AWG WIRE.
7.	PROVIDE TRANSPARENT LABEL ON ALL OUTLET COVERPLATES INDICATING PANEL AND CIRCUIT DESIGNATION, COORDINATE WITH IDENTIFICATION SPEC 260553.
8.	MECHANICAL EQUIPMENT STARTERS, DISCONNECTS ETC. ARE INDICATED ON THE MECHANICAL EQUIPMENT SCHEDULE ONLY. EQUIPMENT TAGS ONLY ARE SHOWN ON THE PLAN. COORDINATE EQUIPMENT LOCATIONS WITH MECHANICAL PLANS AND CONTRACTOR IN THE FIELD.
FIRE ALARM	
	EMERGENCY RESPONDER RADIO COVERAGE SYSTEM
	FIRE ALARM ANNUNCIATOR PANEL
	FIREFIGHTERS SMOKE CONTROL PANEL
	AIR SAMPLING DETECTION CONTROL PANEL
	ADDRESSABLE INPUT MODULE
	ADDRESSABLE OUTPUT MODULE
	ADDRESSABLE RELAY MODULE
	CEILING MOUNTED SPEAKER
	CEILING MOUNTED SPEAKER/STROBE, # CANDELA RATING
	WALL MOUNTED SPEAKER
	WALL MOUNTED SPEAKER/STROBE, # CANDELA RATING
	FIRE ALARM CONTROL PANEL
	FIRE ALARM NOTIFICATION APPLIANCE POWER SUPPLY
	MANUAL PULL STATION AT 48" AFF
	FLOW DETECTOR SWITCH
	LEVEL DETECTOR SWITCH
	PRESSURE DETECTOR SWITCH
	FIRE ALARM TERMINAL CABINET
	CEILING MOUNTED STROBE
	WALL MOUNTED STROBE
	REMOTE INDICATOR LIGHT





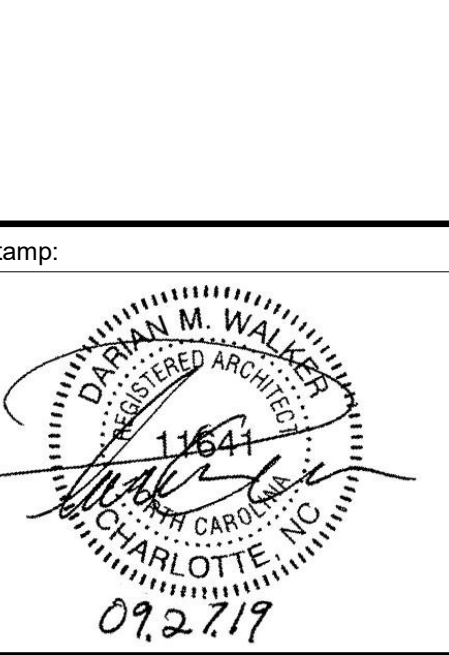
GENERAL NOTES:

- 1 THE ELECTRICAL CODE REFERRED TO SHALL BE THE STATE'S ELECTRIC CODE LATEST EDITION AS WELL AS ALL LOCAL CODE REQUIREMENTS. RESOLVE ALL CODE ISSUES AND REQUIREMENTS WITH AUTHORITIES HAVING JURISDICTION AND ENGINEER PRIOR TO MAKING BID.
- 2 EC SHALL OBTAIN AND PAY FOR ALL PERMITS.
- 3 THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO ASSURE THAT ALL WORK BY THE SUBCONTRACTORS IS INSTALLED AND COMPLETED IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS AND THAT ALL ELECTRICAL WORK IS 100% COMPLETE AT THE TIME OF BENEFICIAL OCCUPANCY.
- 4 THE WORK SHALL INCLUDE PROVIDING ALL LABOR, MATERIAL, EQUIPMENT AND SERVICES TO CONSTRUCT AND INSTALL THE EQUIPMENT AND SYSTEMS NECESSARY TO COMPLETE THE WORK INDICATED ON DRAWINGS.
- 5 PRIOR TO SUBMITTING BIDS, VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS WHERE WORK WILL BE PERFORMED. REVIEW ALL DRAWINGS SHOWING WORK OF OTHER TRADES TO DETERMINE COMPLETE SCOPE OF WORK. TAKE ALL NECESSARY MEASUREMENTS, MAKE SURVEYS, AND NOTE CAPACITIES OF EQUIPMENT AND SYSTEMS WHICH WILL AFFECT INSTALLATION. DETERMINE CLEARANCES, INTERFERENCE WITH EXISTING ELEMENTS AND COORDINATE WORK WITH WORK BY OTHER TRADES AND OWNER.
- 6 IT IS THE INTENT OF THESE PLANS AND SPECIFICATIONS TO PROVIDE A WORKING INSTALLATION IN EVERY DETAIL AND ALL ITEMS REQUIRED FOR SUCH AN INSTALLATION SHALL BE PROVIDED WHETHER OR NOT SPECIFICALLY INDICATED OR MENTIONED.
- 7 COORDINATE WITH THE GENERAL CONTRACTOR OTHER TRADES AND MANUFACTURER'S SHOP DRAWINGS. COORDINATE EXACT LOCATION AND ROUGHING IN DIMENSIONS OF ALL EQUIPMENT AND MAKE ALL FINAL CONNECTIONS AS REQUIRED BY CODES AND AUTHORITIES.
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- 31 IN ADDITION TO SEALS FOR NEW WORK, PROVIDE ALL SEALS FOR EXISTING OPENINGS IN ALL EXISTING ELECTRICAL ROOMS AND CLOSETS WITH EQUIPMENT UTILIZED FOR THIS PROJECT AND/OR WHERE WIRING SYSTEMS FOR THIS PROJECT PASS THROUGH THESE ROOMS.
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- 33 COORDINATE ANY SHUTDOWN, ANY DISRUPTION OF SERVICE AND ANY WORK OUTSIDE OF RENOVATED AREAS FOR THIS PROJECT WITH OWNER FACILITIES, OWNER PROJECT DELIVERY STANDARDS AND CONSTRUCTION MANAGER.
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- 35 ALL EMERGENCY LIGHTING WITH A LOCAL SWITCH CONTROL SHALL BE PROVIDED WITH BY-PASS TRANSFER RELAYS. REFER TO EMERGENCY LIGHTING BYPASS WIRING DIAGRAM.
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Project Owner:  
**LUCK'S CANNERY REDEVELOPMENT -PHASE I-**  
 Seagrove, NC 27341



Issue For:  
**CONSTRUCTION**  
 Issue Date:  
 09.27.2019

REVISIONS		
NO.	REASON	DATE

PRINCIPAL IN CHARGE:  
 D. WALKER  
 Project Address:  
**LUCK'S CANNERY - LOWER BLDG. RENNOVATION - PHASE IA**  
 798 NC Hwy. 705 Seagrove, NC 27341

Project Number:  
 201901.1

Sheet Title:  
**Lighting Plan - First Floor**

Sheet Number:  
**E101**

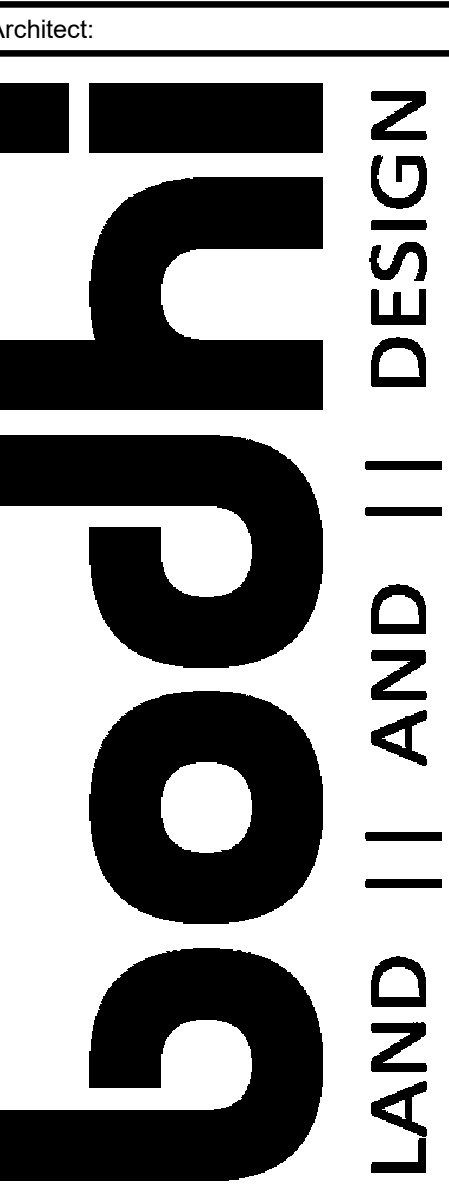
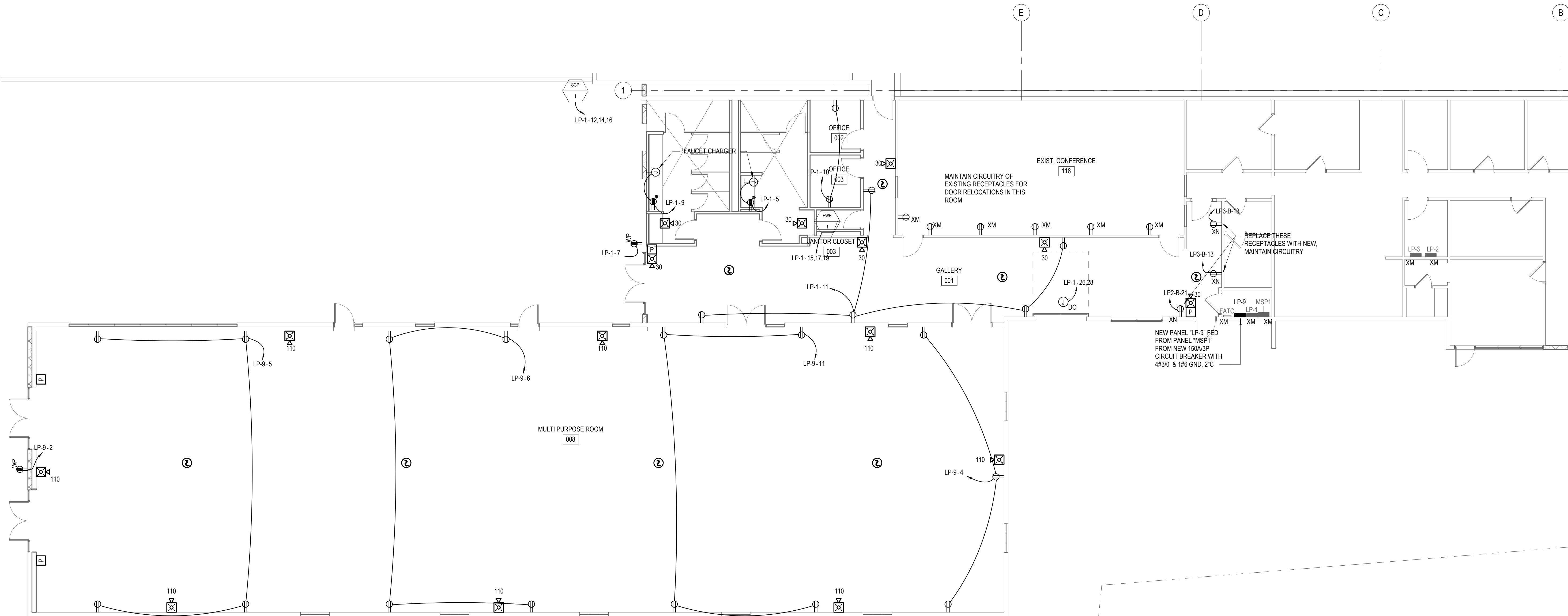
**GENERAL NOTES:**

- 1 THE ELECTRICAL CODE REFERRED TO SHALL BE THE STATE'S ELECTRIC CODE LATEST EDITION AS WELL AS ALL LOCAL CODE REQUIREMENTS. RESOLVE ALL CODE ISSUES AND REQUIREMENTS WITH AUTHORITIES HAVING JURISDICTION AND ENGINEER PRIOR TO MAKING BID.
- 2 EC SHALL OBTAIN AND PAY FOR ALL PERMITS.
- 3 THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO ASSURE THAT ALL WORK BY THE SUBCONTRACTORS IS INSTALLED AND COMPLETED IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS AND THAT ALL ELECTRICAL WORK IS 100% COMPLETE AT THE TIME OF BENEFICIAL OCCUPANCY.
- 4 THE WORK SHALL INCLUDE PROVIDING ALL LABOR, MATERIAL, EQUIPMENT AND SERVICES TO CONSTRUCT AND INSTALL THE EQUIPMENT AND SYSTEMS NECESSARY TO COMPLETE THE WORK INDICATED ON DRAWINGS.
- 5 PRIOR TO SUBMITTING BIDS, VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS WHERE WORK WILL BE PERFORMED. REVIEW ALL DRAWINGS SHOWING WORK OF OTHER TRADES TO DETERMINE COMPLETE SCOPE OF WORK. TAKE ALL NECESSARY MEASUREMENTS, MAKE SURVEYS, AND NOTE CAPACITIES OF EQUIPMENT AND SYSTEMS WHICH WILL AFFECT INSTALLATION. DETERMINE CLEARANCES, INTERFERENCE WITH EXISTING ELEMENTS AND COORDINATE WORK WITH WORK BY OTHER TRADES AND OWNER.
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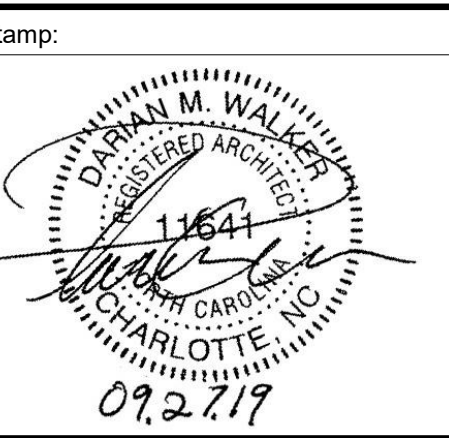
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Project Owner:  
**LUCK'S CANNERY  
 REDEVELOPMENT  
 -PHASE I-  
 Seagrove, NC 27341**



Issue For:  
**CONSTRUCTION**  
 Issue Date:  
**09.27.2019**

REVISIONS		
NO.	REASON	DATE

PRINCIPAL IN CHARGE:  
 D. WALKER

Project Address:  
**LUCK'S CANNERY - LOWER  
 BLDG. RENNOVATION -  
 PHASE IA**

798 NC Hwy. 705 Seagrove,  
 NC 27341

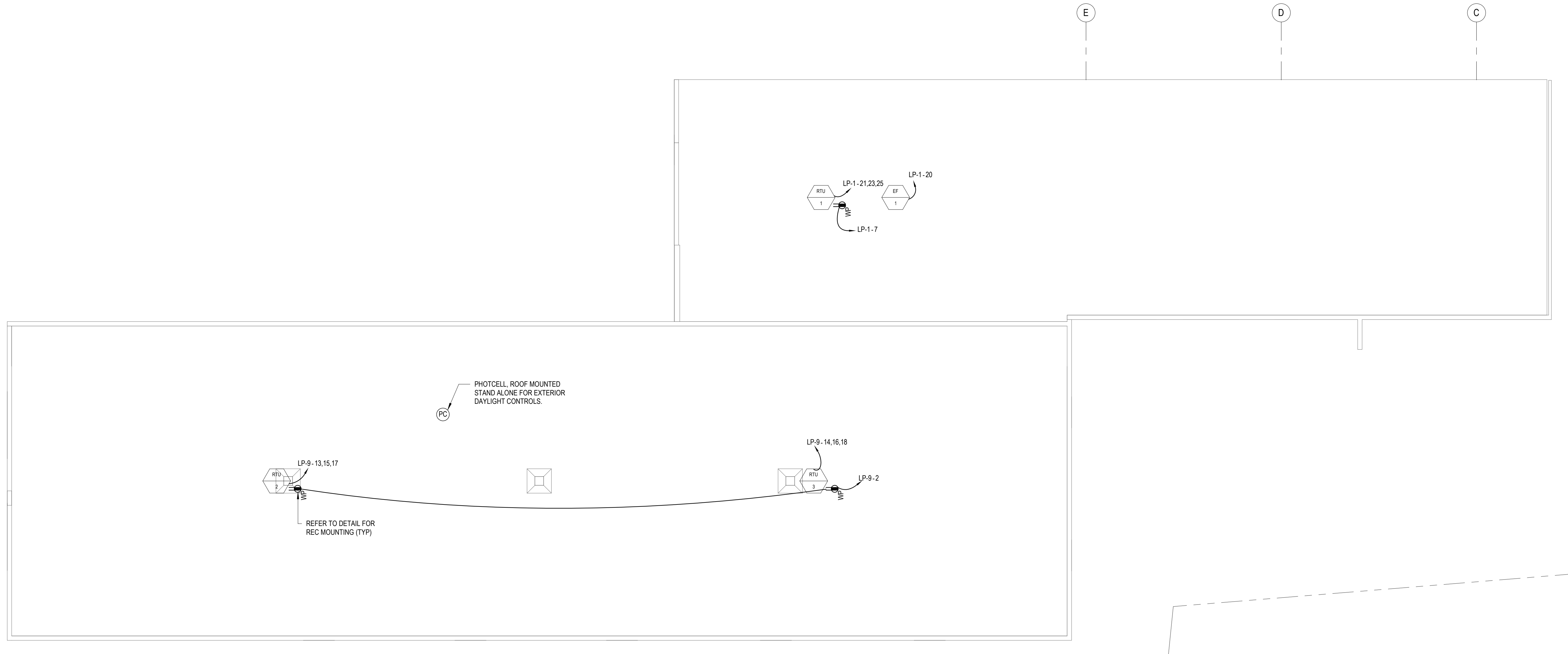
Project Number:  
 201901.1

Sheet Title:  
**Power & Fire Alarm  
 Plan - First Floor**

Sheet Number:  
**E201**

**GENERAL NOTES:**

1. COORDINATE WITH HVAC FOR EXACT EQUIPMENT LOCATION PRIOR TO ROUGH-IN.
2. PHOTOCELL TO BE INSTALLED ON STAND ALONE UNISTRUTS. MOUNT PHOTOCELL FACING NORTH, AWAY FROM HVAC EQUIPMENT TO AVOID SHADOWS. OUTSIDE LIGHTING SHALL BE WIRED VIA PHOTOCELL FOR DUSK TO DAWN OPERATIONS.
3. COORDINATE WITH ROOFER FOR ALL ROOF PENETRATIONS FOR PROPER INSULATION.



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**LUCK'S CANNERY REDEVELOPMENT -PHASE I-**  
 Seagrove, NC 27341

Stamp:  
  
 DANIEL M. WALKER  
 REGISTERED ARCHITECT  
 NO. 11641  
 STATE OF NORTH CAROLINA  
 EXPIRES 09.27.19

Issue For:  
**CONSTRUCTION**  
 Issue Date:  
 09.27.2019

REVISIONS

NO.	REASON	DATE

PRINCIPAL IN CHARGE:  
 D. WALKER  
 Project Address:  
**LUCK'S CANNERY - LOWER BLDG. RENNOVATION - PHASE IA**  
 798 NC Hwy. 705 Seagrove, NC 27341

Project Number:  
 201901.1

Sheet Title:  
**Power Plan - Roof**

Sheet Number:  
**E202**

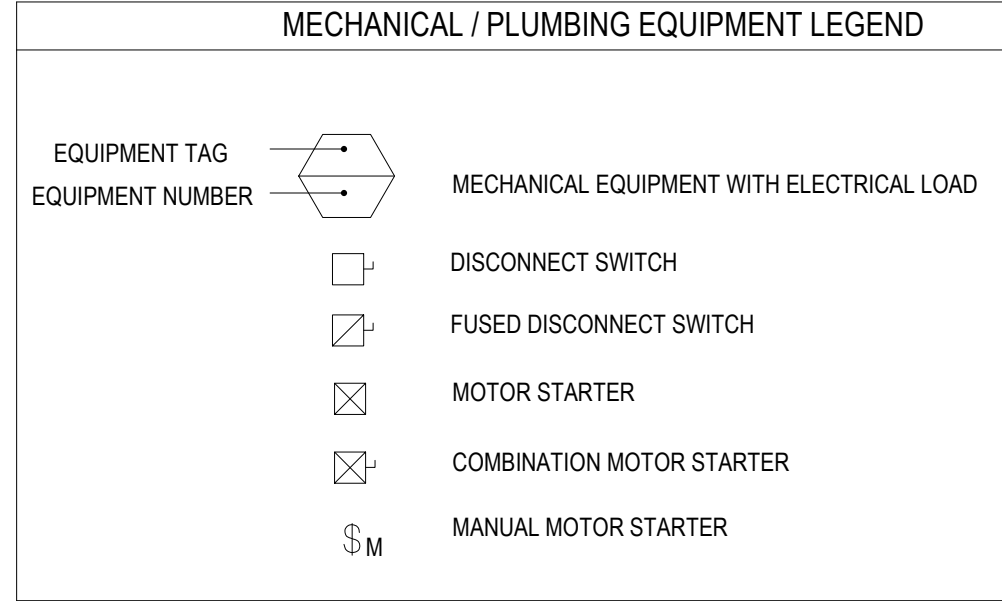
LUMINAIRE SCHEDULE							
TYPE	DESCRIPTION	LAMP	WATTAGE	VOLTAGE	MANUFACTURER	MODEL	KEYED NOTES
C1	PERIMTER LED LIGHT. COORDINATE WITH ARCH DWG FOR SLOT DIMMENSIONS	LED	15.0 VA	120 V	LEDALITE	490-8-L-B-E-Q-S-N-(LENGTH PER PLAN)-7-D-E-S-S	
EBU	EMERGENCY LED BATTERY UNIT	LED	2.0 VA	120 V	PHILIPS CHLORIDE	VLTUR	
EBU-WP	EMERGENCY LED BATTERY UNIT	LED	2.0 VA	120 V	PHILIPS CHLORIDE	VLTUR/VLL2RGO - (WEATHER PROOF)	
EX	EXIT LIGHTING FIXTURE - SINGLE FACE	LED	5.0 VA	120 V	MULE LIGHTING	MD-B-1(OR 2)-R-BA-SD	
FL1	SMALL FLOODLIGHT WITH VISOR	LED	43.0 VA	120 V	GARDOO	FLDS-A02-740-RNF-SLF-UNV/VPA-BK/VS-R(F)	
LI1	PENDANT/SURFACE MOUNTED LIGHT STRIP	LED	32.0 VA	120 V	DAY-BRITE	FSWEEZ-4-40L-835-UNV	
P1	INDUSTRIAL HIGH BAY LED	LED	87.0 VA	120 V	DAY-BRITE	RBX-10L-835-UNV-WT-ARR165	
R1	4" ROUND DOWNLIGHT -3500K	LED	10.5 VA	120 V	VENTAGELTO	V4OFCR-11-39K-F4060-SGC	
R3	SHALLOW RECESSED LED LIGHTING FIXTURE	LED	23.0 VA	120 V	DAY-BRITE	2-T-G-20L-835-2-FS-02F-UNV-DIM	
T1	LED TRACK LIGHTING WITH CYLINDER HEADS	LED	16.3 VA	120 V	LIGHTOLIER	TH-10-9-30-NF-1-W / BUS 6008NWH (LENGTH PER PLANS, QUANTITY OF HEADS PER PLAN)	
W1	WALL MOUNTED LIGHTING FIXTURE	LED	17.0 VA	120 V	MULE LIGHTING	MERUJD-ACEM-DB	

**LUMINAIRE NOTES:**

- THE ELECTRICAL CONTRACTOR SHALL FURNISH ALL LIGHTING FIXTURES COMPLETE WITH MOUNTING ACCESSORIES TO MEET JOB REQUIREMENTS.
- THE ELECTRICAL CONTRACTOR SHALL VERIFY FIXTURE, MOUNTING AND LOCATION AGAINST PLANS, ELEVATIONS AND DETAIL DRAWINGS. EXACT LOCATION AND ELEVATION OF ALL FIXTURES SHALL BE CONFIRMED WITH THE ARCHITECT PRIOR TO ROUGHING IN.
- FIXTURE LETTERS SHOWN ONCE A CONTINUOUS ROW OF FIXTURES SHALL BE TYPICAL FOR THAT ROW UNLESS OTHERWISE NOTED.
- ALL FIXTURES SHALL BE SUPPORTED FROM THE BUILDING STRUCTURE, INDEPENDENT OF HUNG CEILING.
- ALL LED DRIVERS SHALL BE 0-10V DIMMABLE, UON
- ALL FIXTURES THAT ARE MOUNTED IN GYPSUM BOARD CEILING SHALL HAVE ALL NECESSARY MOUNTING HARDWARE. COORDINATE WITH ARCHITECT FOR SLOPE DEGREE CEILING ADAPTOR PRIOR TO ORDERING WHEN FIXTURE IS SHOWN ON SLOPE CEILING.
- AIRCRAFT CABLE PENDANT LENGTH PER ARCHITECT. REFER TO FLOOR PLANS FOR FIXTURE LENGTH AND CIRCUITRY REQUIREMENTS. POWER FEED SHALL BE STRAIGHT CABLE STYLE.
- THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL "GRID BOX" WHERE PENDANT FIXTURES ARE INDICATED TO BE CENTERED ON THE CEILING GRID. REFER TO THE ARCHITECTURAL REFLECTED CEILING PLANS FOR THE EXACT LOCATIONS OF ALL LUMINARIES.
- WHERE MULTIPLE UNDER COUNTER LIGHTING FIXTURES ARE INDICATED TO BE MOUNTED TOGETHER, FURNISH ONE FIXTURE WITH A ROCKER SWITCH FOR ENTIRE ROW.
- EXIT SIGNS SHALL BE RED LETTER ON CLEAR BACKGROUND. IN THE CASE OF DOUBLE FACED EXIT SIGNS, COLORING SHALL BE RED LETTER ON MIRROR BACKGROUND. PROVIDE ARROWS AS INDICATED ON FLOOR PLANS.
- PROVIDE UNSWITCHED HOT LEG FOR BATTERY CHARGING AND MONITORING FOR OPERATION OF BATTERY BALLAST UPON LOSS OF NORMAL POWER FOR EMERGENCY EXIT SIGNS AND EMERGENCY BATTERY BOXES.
- FURNISH AND INSTALL ALL NECESSARY FILLERS, EXTENSIONS AND END PLATES NECESSARY FOR A CONTINUOUS WALL-TO-WALL APPEARANCE, WHERE REQUIRED, PROVIDE VARIOUS LENGTHS TO PROVIDE AS MUCH OF A CONTINUOUS LIGHT APPEARANCE AS POSSIBLE.
- FINAL FIXTURE COLOR SHALL BE APPROVED BY ARCHITECT. COLOR OF FIXTURE FRAME TO MATCH ADJACENT METALLIC CEILING OR COLOR TO BE SELECTED BY ARCHITECT PRIOR TO ORDERING.
- ELECTRICAL CONTRACTOR TO PROVIDE LENGTH AS INDICATED ON ARCHITECTURAL DRAWINGS. WHEN REMOTE TRANSFORMERS NEEDED, ELECTRICAL CONTRACTOR TO PROVIDE SIZE AND QUANTITY AS REQUIRED. ALL LIGHTING FIXTURES RUN IN CONTINUOUS ROWS SHALL BE TANDEM WIRED UNLESS NOTED OTHERWISE.
- ONE POWER PACK IS NEEDED PER CIRCUIT/ ZONE TO BE LOW VOLTAGE SENSORS. POWER PACK PLACEMENT ON DRAWINGS IS FOR COUNTING ONLY. FINAL PLACEMENT OF POWER PACK IS UP TO CONTRACTOR/ENGINEER. PLEASE RECHECK COUNTS TO VERIFY THE NUMBER OF POWER PACKS NEEDED TO MAKE A COMPLETE SYSTEM.
- SENSORS ON DRAWINGS WERE PLACED WITH CURRENT INFORMATION. ADDITIONAL SENSORS MAY BE REQUIRED TO PROVIDE COMPLETE COVERAGE DEPENDING ON CHANGES, FINAL PARTITION HEIGHT/ PLACEMENT, FURNITURE PLACEMENT, EQUIPMENT HEIGHT/ PLACEMENT AND SHELVING HEIGHT/ PLACEMENT.
- SENSOR MASKING KITS MAY BE REQUIRED TO LIMIT COVERAGE DEPENDING ON SENSOR VIEW COVERAGE.

Panel:		LP-9		Project:		LUCK'S CANNERY - LOWER BLDG. ...		Panel Voltage:		120/208 Wye		A.I.C. Rating:		22000 AIC	
Location:		ELECTRICAL ROOM		Mains Type:		MCB		Phases:		3		Mains Rating:		150 A	
Mounting:		SURFACE		Wires:		4		Neutral Rating:		100.000%					
Supply From:		MSP1		Neutral Rating:		100.000%									
CKT	Circuit Description	Trip	Poles	A	B	C	Poles	Trip	Circuit Description	CKT					
1	EXIT Signs & EBU	20 A	1	0 kVA	0.5 kVA		1	20 A	Outside Rec	2					
3	Lights Outside	20 A	1		0.1 kVA	0.5 kVA	1	20 A	RM 105B - Rec	4					
5	RM 105B - Rec	20 A	1			0.7 kVA	0.7 kVA	1	20 A	RM 105B - Rec	6				
7	Lights RM 105b	20 A	1	1.6 kVA	0 kVA		1	20 A	Spare	8					
9	Lights RM 105b	20 A	1		1.6 kVA	0 kVA	1	20 A	Spare	10					
11	RM 105B - Rec	20 A	1			0.7 kVA	0 kVA	1	20 A	Spare	12				
13		20 A	1							14					
15	RTU-2	45 A	3	3 kVA	3 kVA		3	45 A	RTU-3	16					
17						3 kVA	3 kVA			18					
19	Spare	20 A	1	0 kVA	0 kVA		1	20 A	Spare	20					
21	Spare	20 A	1		0 kVA	0 kVA	1	20 A	Spare	22					
23	Spare	20 A	1			0 kVA	0 kVA	1	20 A	Spare	24				
25	Spare	20 A	1	0 kVA	0 kVA		1	20 A	Spare	26					
27	Spare	20 A	1		0 kVA	0 kVA	1	20 A	Spare	28					
29	Spare	20 A	1			0 kVA	0 kVA	1	20 A	Spare	30				
31	Spare	20 A	1	0 kVA	0 kVA		1	20 A	Spare	32					
33	Spare	20 A	1		0 kVA	0 kVA	1	20 A	Spare	34					
35	Spare	20 A	1			0 kVA	0 kVA	1	20 A	Spare	36				
37	Spare	20 A	1	0 kVA	0 kVA		1	20 A	Spare	38					
39	Spare	20 A	1		0 kVA	0 kVA	1	20 A	Spare	40					
41	Spare	20 A	1			0 kVA	0 kVA	1	20 A	Spare	42				
<b>Total Load:</b>				8.1 kVA	8.1 kVA	8.1 kVA									
Load Classification		Connected Load		Demand Factor		Estimated Demand		Panel Totals							
HVAC	17848.1 VA	100.000%	17848.1 VA												
Lighting	3236.7 VA	125.000%	4045.9 VA					Total Conn. Load: 24.3 kVA							
Receptacle	3240.0 VA	100.000%	3240.0 VA					Total Est. Demand: 25.1 kVA							
								Spare Load: 10 A							
								Total Demand Load: 80 A							
								+25% C/B Derating: 100 A							
Notes: Receptacle Load = 1st 10kVA @ 100% + Remainder @ 50%															

MECHANICAL EQUIPMENT SCHEDULE																	
EQUIPMENT DESIGNATION	EQUIPMENT NUMBER	EQUIPMENT DESCRIPTION	VOLTAGE	PHASE	HP	KVA	F.L.A.	MOCP	MCA	PANEL	CIRCUIT NUMBER	BREAKER	BRANCH WIRING	DISCONNECT SWITCH	DEVICE RATING	PLAN REF.	KEYED NOTES
EF	1	EXHAUST FAN	120 V	1	1/10	0.42	3.5	6	4.375		20	20	2#12, 1#12 GND, 3/4" C	Y	20	E202	9
EWH	1	ELECTRIC WATER HEATER	208 V	3		5.181696	14.4	25	18		LP-1	15,17,19	3#10, 1#10 GND, 3/4" C		30		
RTU	1	ROOF TOP UNIT	208 V	3		10.651264	29.6	50	37		LP-1	21,23,25	3#8, 1#10GND, 3/4" C	Y	50	E202	9
RTU	2	ROOF TOP UNIT	208 V	3		8.524032	24.8	45	31		LP-9	13,15,17	3#8, 1#10GND, 3/4" C	Y	50	E202	9
RTU	3	ROOF TOP UNIT	208 V	3		8.524032	24.8	45	31		LP-9	14,16,18	3#8, 1#10GND, 3/4" C	Y	50	E202	9
SGP	1	SEWAGE GRINDER PUMP	208 V	3	2	3.886272	10.8	19	13.5		LP-1	12,14,16	3#10, 1#10 GND, 3/4" C	Y	30	E201	3,5



**GENERAL NOTES:**

- ALL MECHANICAL/PLUMBING EQUIPMENT VFD'S, MOTOR STARTERS, AND DISCONNECT SWITCHES SHALL BE FURNISHED AND INSTALLED BY THE RESPECTIVE TRADE, AND WIRED BY THE ELECTRICAL CONTRACTOR, UNLESS NOTED OTHERWISE.
- SINGLE POINT ELECTRICAL CONNECTIONS INDICATED IN THE MECHANICAL/PLUMBING EQUIPMENT SCHEDULE AND KEYED NOTES REFER TO THE ELECTRICAL CONTRACTOR BEING RESPONSIBLE FOR MAKING THE SINGLE POINT OF ELECTRICAL CONNECTION, AND ALL REMAINING INTERNAL EQUIPMENT DISCONNECTS, STARTERS, VFD'S, AND ASSOCIATED WIRING DOWN STREAM OF THE SINGLE POINT ELECTRICAL CONNECTION SHALL BE FURNISHED AND INSTALLED BY THE EQUIPMENT MANUFACTURER OR HVAC CONTRACTOR. ELECTRICAL CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS OF ALL HVAC EQUIPMENT MANUFACTURER SINGLE POINT ELECTRICAL CONNECTIONS PRIOR TO ROUGH-IN.

**KEYED NOTES:**

- STARTER OR VFD INTEGRAL TO EQUIPMENT FURNISHED BY THIS EQUIPMENT MANUFACTURER.
- STARTER OR VFD FURNISHED & INSTALLED BY HVAC CONTRACTOR. WIRED BY ELECTRICAL CONTRACTOR.
- STARTER OR VFD FURNISHED & INSTALLED BY PLUMBING CONTRACTOR. WIRED BY ELECTRICAL CONTRACTOR.
- ALL DEVICES & WIRING METHODS AT THE MOTOR SHALL BE NEMA 3R.
- DISCONNECT SWITCH INTEGRAL TO PLUMBING EQUIPMENT. WIRED BY ELECTRICAL CONTRACTOR.
- TWO SPEED STARTER FURNISHED, INSTALLED & WIRED BY ELECTRICAL CONTRACTOR.
- INDOOR AC UNIT ARE FED FROM OUTSIDE ACCU UNITS. EC SHALL FURNISH AND INSTALL 1" CONDUIT FOR POWER AND WIRE AC UNIT FROM ACCU UNIT. EC SHALL FURNISH AND INSTALL 1" CONDUIT FOR CONTROLS AND WIRE AC UNIT TO ACCU UNIT. EC SHALL COMPLY WITH MANUFACTURE RECOMMENDATIONS BEFORE INSTALLATION. COORDINATE ALL WORK WITH HVAC CONTRACTOR PRIOR TO ROUGH-IN.
- DISCONNECT SWITCH FURNISHED, INSTALLED AND WIRED BY THE ELECTRICAL CONTRACTOR. E.C. SHALL PROVIDE WIRING AND CONDUITS FROM DISCONNECTS TO VFD/CONTROLLER/EQUIPMENT.
- STARTER, VFD FURNISHED OR DISCONNECT FURNISHED & INSTALLED BY ELECTRICAL CONTRACTOR. WIRED BY ELECTRICAL CONTRACTOR.

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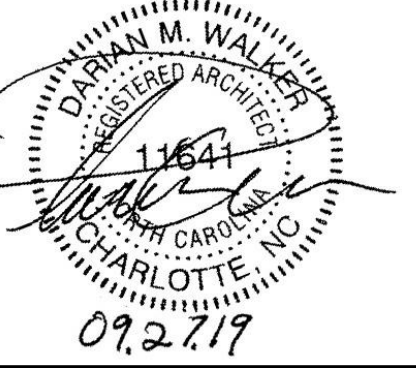
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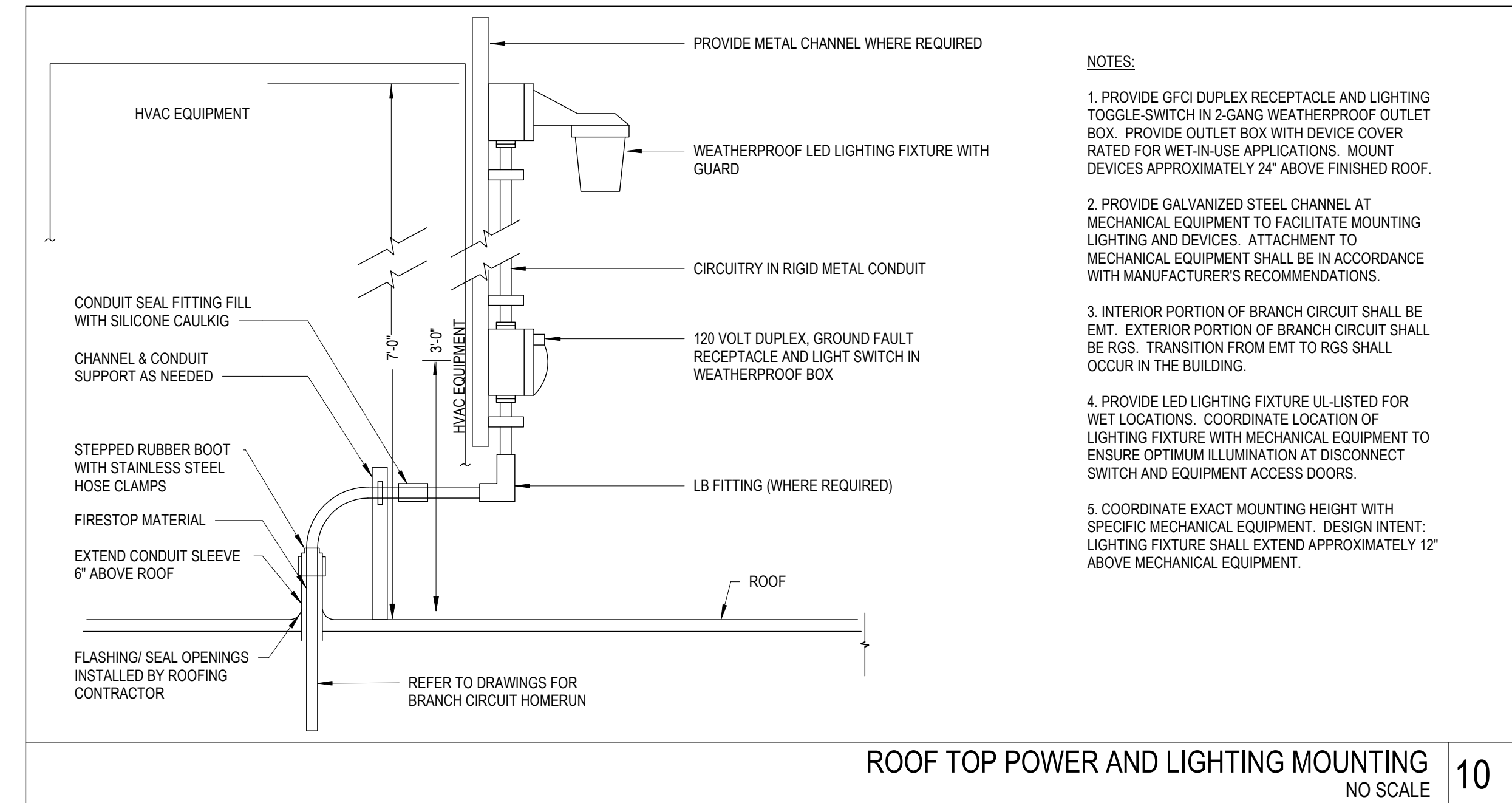
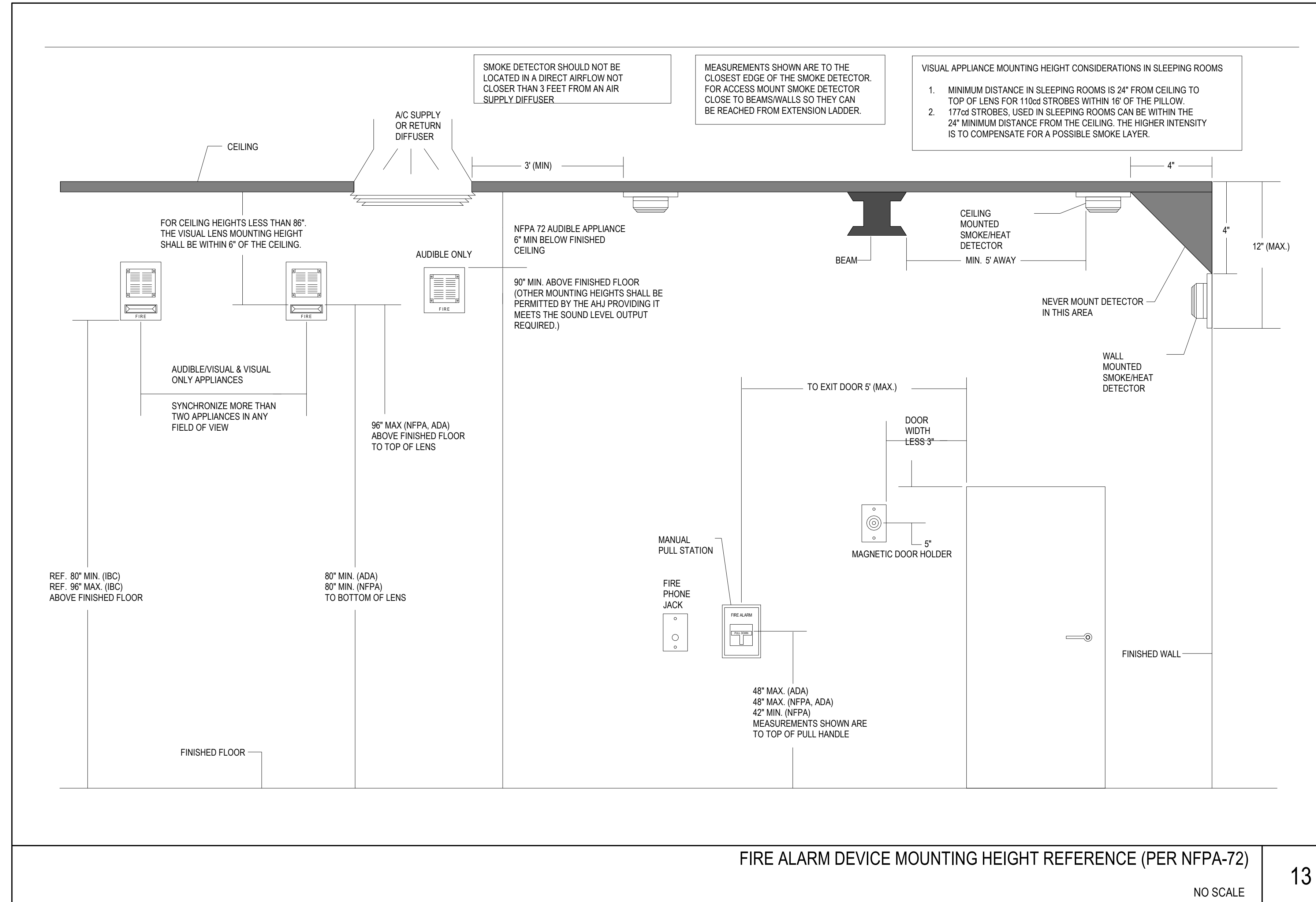
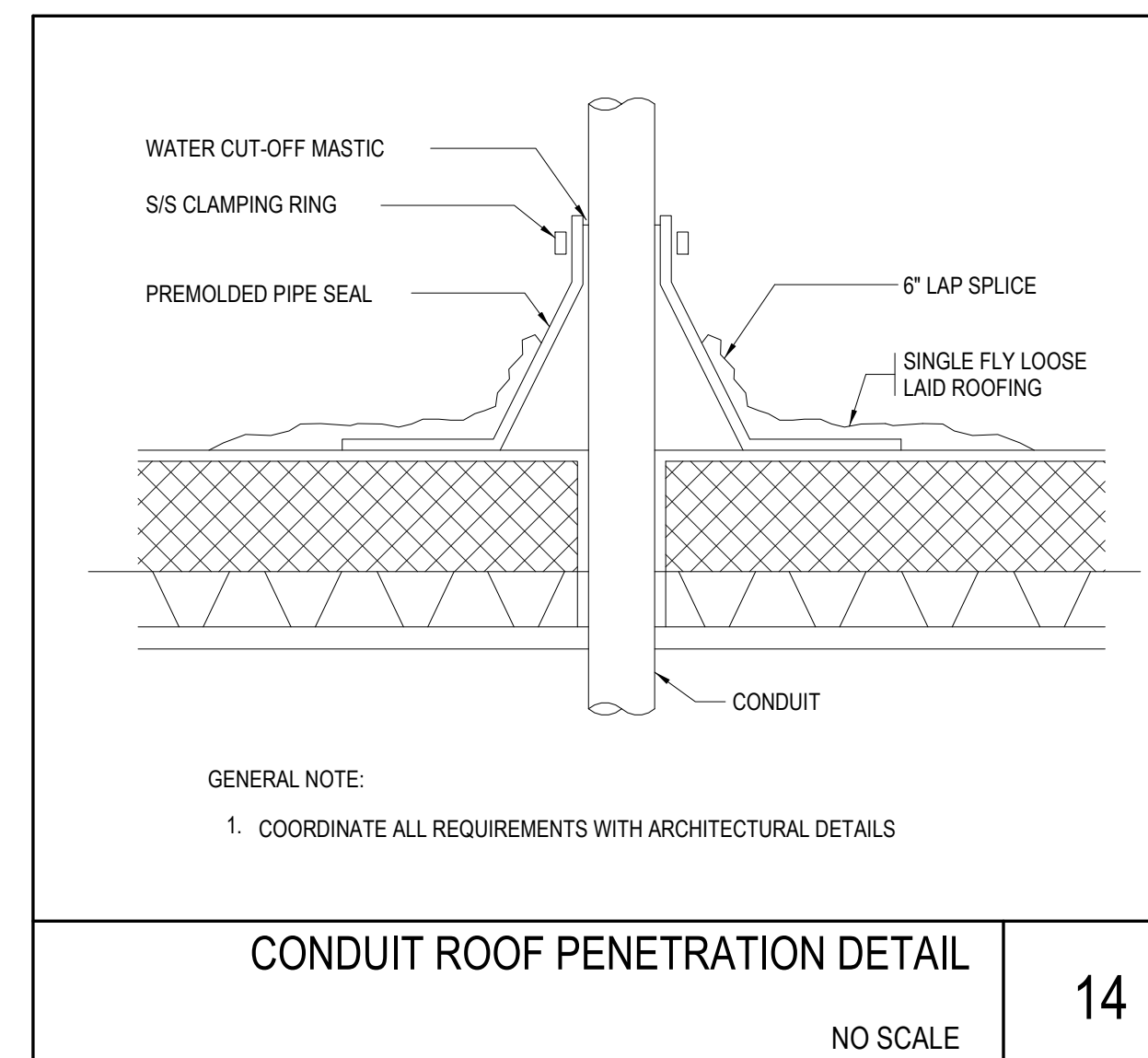
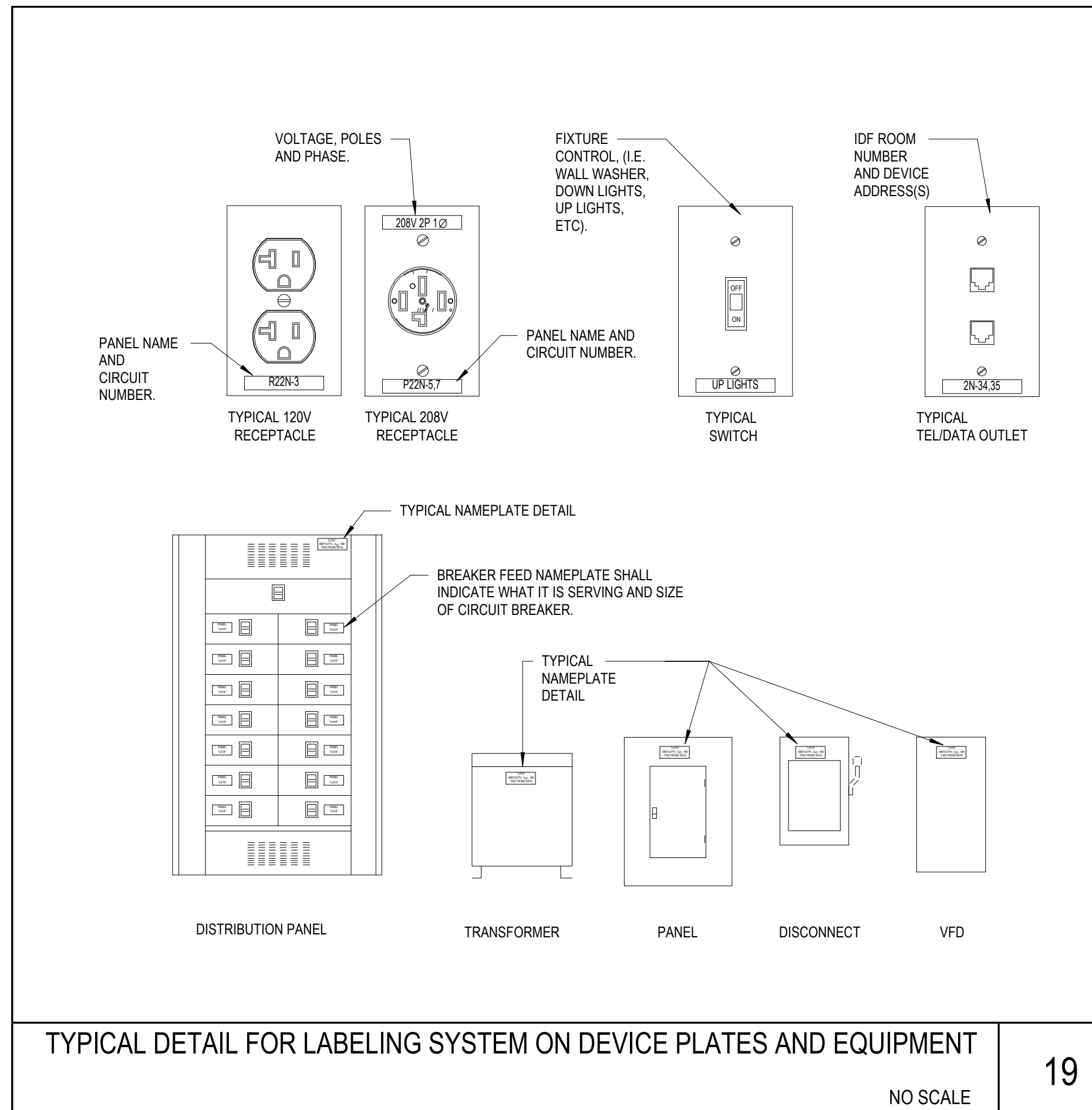
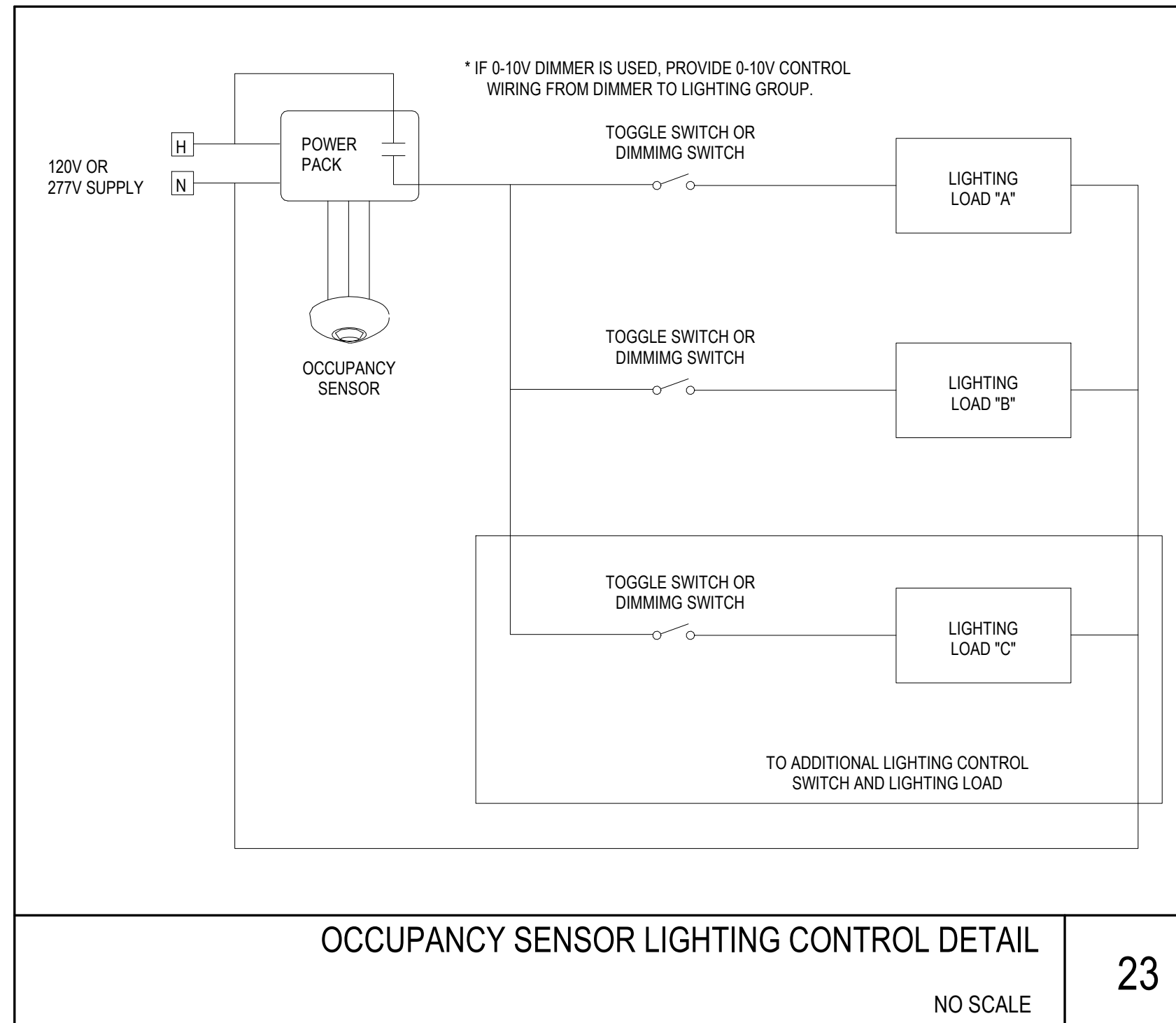
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Sheet Title:

**Schedules**

Sheet Number:

**E501**



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Project Number:  
 201901.1

Sheet Title:  
**Details**

Sheet Number:  
**E601**

**PLASMA Soft** | Support: plasma@plasma-soft.com or call (303)662-0800 | Version: PlasmaSoft 2.0 ASHRAE 62.1-2012

### Lucks Cannery - Multipurpose

ASHRAE 62.1  
Space Contamination Calculations Using Appendix D Equations

**USER INPUT FIELDS**

Green colored fields need user input. Yellow colored fields are constants provided by Plasma Air.  
Pink fields are auto-calculated based on user selection. Grey values are auto-calculated but also editable.

ASHRAE Equation: Equation 5 - Filter return air and outside air, Constant Volume Supply Air, Constant Volume Outside Air

Space Type: Conference / meeting

Ez: 1.0 - Ceiling supply of high velocity warm air 15°F below space Temp and ceiling return

Area (Sq.Ft.): 6616 | Number of People: 332

Supply Air (CFM): 4000 | Emission Rate / Person (µg/min): 200

**Calculation of Space Contaminants Using Ventilation Rate Procedure (VRP) OA**

VBP Outside Air Rate per Person	5.20	CFM
Space Airflows	CFM	L/Min
Supply Air	4,000	113,280
Outside Air	2,058.40	58,293.89
Return Air	1,941.60	54,986.11

$C_{bz} = \frac{N + Ez Voz Co(1 - Ef)}{Ez (Voz + R Vr Ef)}$

Variable	Description	Value	Units
N	Contaminant Generation Rate	6,320	µg/min
Ez	Zone Air Distribution Effectiveness	1.0	
Voz	Outdoor Air Flow Rate	58,293.89	L/min
Ef	Filter Efficiency	0.9	
Co	Contaminant Concentration, OA	1.2	µg/m³
R	Recirculation Flow Variable = Vr/(Vr+Vr)	0.49	
Vr	Return Air Flow Rate	54,986.11	L/min
Cbz	Contaminant Concentration, zone	2.131	ppm

Is the Cbz for the IAQP equal or less than Cbz for the VSP? **Yes**

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### GENERAL NOTES

- IN PREPARATION OF THESE PLANS, THE ENGINEER HAS USED CERTAIN ABBREVIATIONS, CONVENTIONS, AND SYMBOLS, THE MEANING OF WHICH ARE ILLUSTRATED AND EXPLAINED WITHIN THE LEGEND.
- PLANS ARE DIAGRAMMATIC ONLY. THEY ARE INTENDED TO INDICATE CAPACITY, SIZE, LOCATION, DIRECTION, AND GENERAL ARRANGEMENT, BUT NOT EXACT DETAILS OF CONSTRUCTION. THE FACT THAT ONLY CERTAIN FEATURES OF THE INSTALLATION ARE INDICATED MUST NOT BE TAKEN TO MEAN THAT OTHER FEATURES WILL NOT BE REQUIRED.
- COORDINATE WITH THE OTHER TRADES TO INSURE THAT EACH TRADE SHALL HAVE SUFFICIENT SPACE TO INSTALL THEIR EQUIPMENT (DUCTWORK, PIPING, ELECTRICAL WORK, ETC.).
- IN GENERAL, ALL PIPING AND DUCTWORK SHALL BE RUN IN THE CEILING SPACE UNLESS NOTED OR INDICATED OTHERWISE.
- VERIFY ALL DIMENSIONS FROM ARCHITECTURAL PLANS AND FIELD DIMENSIONS.
- DUCT DIMENSIONS SHOWN ON DRAWINGS ARE CLEAR INSIDE DIMENSIONS.
- ALL RISES AND DROPS IN PIPING AND DUCTWORK MAY NOT NECESSARILY HAVE BEEN SHOWN. CONTRACTOR TO VERIFY.
- PROVIDE ALL STRUCTURAL MEMBERS, SUPPORT BRACKETS, FLASHING, HARDWARE, ETC. REQUIRED TO INSTALL A COMPLETE SYSTEM.
- DIFFUSERS AND REGISTER LOCATIONS SHALL BE COORDINATED WITH LIGHT FIXTURE AND OTHER CEILING DEVICE LOCATIONS. FIELD VERIFY.
- MOUNT ALL THERMOSTATS AND/OR SENSORS 4 FEET ABOVE FINISHED FLOOR, UNLESS OTHERWISE NOTED.

### MECHANICAL SYSTEMS, SERVICE AND EQUIPMENT

2018 METHOD OF COMPLIANCE:

THERMAL ZONE	
WINTER DRY BULB	21.6
SUMMER DRY BULB	94.2
INTERIOR DESIGN CONDITIONS	
WINTER DRY BULB	70 F
SUMMER DRY BULB	75 F
RELATIVE HUMIDITY	50 %
BUILDING HEATING LOAD	EXISTING
BUILDING COOLING LOAD	EXISTING
MECHANICAL SPACE CONDITIONING SYSTEM	
UNITARY	
DESCRIPTION OF UNIT	SEE EQUIPMENT SCHEDULES
HEATING EFFICIENCY	SEE EQUIPMENT SCHEDULES
COOLING EFFICIENCY	SEE EQUIPMENT SCHEDULES
SIZE CATEGORY OF UNIT	SEE EQUIPMENT SCHEDULES
BOILER	
SIZE CATEGORY, IF OVER SIZED, STATE REASON	N/A
CHILLER	
SIZE CATEGORY, IF OVER SIZED, STATE REASON	N/A
LIST EQUIPMENT EFFICIENCIES	SEE EQUIPMENT SCHEDULES

### HVAC CONTROLS SEQUENCE:

- THE ROOFTOP UNIT SUPPLY FAN SHALL OPERATE DURING OCCUPIED HOURS. THE RESPECTIVE COMPRESSOR/GAS FURNACE SHALL CYCLE ON/OFF BY A PROGRAMMABLE THERMOSTAT TO MAINTAIN A ROOM TEMPERATURE SET POINT (COOLING) 75°F, (HEATING) 70°F AND ROOM HUMIDITY SET POINT (65%).
- DURING UNOCCUPIED TIMES, THE ROOFTOP UNIT SUPPLY FAN MAY BE OVERRIDDEN THROUGH THE PROGRAMMABLE THERMOSTAT.
- THE ECONOMIZER AIR DAMPER SHALL BE OPEN TO MINIMUM OA POSITION WHEN FAN IS ENERGIZED. WHEN OUTDOOR AIR TEMPERATURE AND ENTHALPY CONDITIONS ARE CORRECT, ECONOMIZER SHALL BE ENABLED. DAMPER SHALL CLOSE WHEN FAN IS DE-ENERGIZED. DAMPER SHALL FAIL OPEN.

### MECHANICAL SYMBOLS LEGEND

	CEILING SUPPLY DIFFUSER
	CEILING RETURN GRILLE
	CEILING EXHAUST GRILLE
	CEILING EXHAUST FAN
	IN-LINE EXHAUST FAN
	DYNAMIC FIRE DAMPER STYLE 'B' FIRE DAMPER
	DYNAMIC FIRE DAMPER STYLE 'CR' FIRE DAMPER FOR ROUND DUCTS
	DYNAMIC SMOKE DAMPER
	COMBINATION DYNAMIC FIRE/SMOKE DAMPER
	DUCT SMOKE DETECTOR
	RETURN/EXHAUST DUCT TURNING DOWN
	RETURN/EXHAUST DUCT TURNING UP
	SUPPLY DUCT TURNING DOWN
	SUPPLY DUCT TURNING UP
	EXISTING DUCT
	TRANSFER OPENING IN WALL ABOVE CEILING
	3/4" UNDERCUT BELOW DOOR
	RADIANT DAMPER (RD)
	CONNECT TO EXISTING
	DISCONNECT FROM EXISTING
	SIDE WALL SUPPLY GRILLE
	SIDE WALL RETURN GRILLE
	AIR DEVICE TYPE AND SIZE AIR FLOW CFM
	THERMOSTAT
	REFRIGERANT PIPING (LINE SET)
	CONDENSATE DRAIN PIPING
	PIPE TURNING UP
	PIPE TURNING DOWN
	2 POSITION MOTORIZED DAMPER
	MANUAL VOLUME DAMPER

### ABBREVIATIONS

A	AMPERES
AFF	ABOVE FINISHED FLOOR
AHU	AIR HANDLING UNIT
BHP	BRAKE HORSEPOWER
BTUH	BRITISH THERMAL UNIT PER HOUR
CFM	CUBIC FEET PER MINUTE
CLG	CEILING
CD	CONDENSATE DRAIN
CU	CONDENSING UNIT
DB	DRY BULB
DN	DOWN
DX	DIRECT EXPANSION
EA	EXHAUST AIR
EAT	ENTERING AIR TEMPERATURE
EF	EXHAUST FAN
EL	ELEVATION
EXH	EXHAUST
EQUIP	EQUIPMENT
ESP	EXTERNAL STATIC PRESSURE
FB	FILTER BOX
FD	FIRE DAMPER
FLEX	FLEXIBLE
FLR OR FL	FLOOR
FPI	FINS PER INCH
FPM	FEET PER MINUTE
GALV	GALVANIZED
HP	HORSEPOWER
KW	KILOWATT
LBS	POUNDS
MAX	MAXIMUM
MBH	THOUSAND BTU/H
MIN	MINIMUM
OA	OUTSIDE AIR
RA	RETURN AIR AND/OR ROOM AIR
RTU	ROOFTOP UNIT
SA	SUPPLY AIR
TEMP	TEMPERATURE
TYP	TYPICAL
UC	UNDERCUT
VD	MANUAL VOLUME DAMPER
V	VOLTS
WB	WET BULB
Ø	ROUND
OBD	OPPOSED BLADE DAMPER
SQFT	SQUARE FEET
TAD	TRANSFER AIR DUCT

### GENERAL SYMBOLS

	PLAN OR DETAIL NO SHEET NUMBER
	KEYED NOTE TO PLAN
	REVISION NUMBER
	NORTH ARROW

### 2018 NORTH CAROLINA MECHANICAL CODE - VENTILATION CALCULATION

Luck's Cannery

SPACE NAME	AREA (SF)	OCCUPANCY CLASSIFICATION	DEFAULT OCCUPANCY (QTY/1000 SF)	CALCULATED OCCUPANCY (PEOPLE)	Rp VENT. RATE (CFM / P)	Vbzp (CFM)	Ra VENT. RATE (CFM / SF)	Vbzra (CFM)	Vbz BREATHING ZONE OUTDOOR AIRFLOW (CFM)	Ez ZONE AIR DISTRIBUTION EFFECTIVENESS	Voz ZONE OUTDOOR AIRFLOW (CFM)	Vpz MIN. ZONE SUPPLY AIRFLOW (CFM)	Zp PRIMARY OUTDOOR AIR FRACTION	Vou UNCORRECTED OUTDOOR AIR INTAKE (CFM)	EXHAUST RATE (CFM)
Hallway	107	Corridors					0.06	6.4	6	0.8	8	50	0.16	6	
Janitor	22	Toilet rooms - public													50
restroom	466	Toilet rooms - public													600
Meeting Room	128	Conference rooms	50	6	5	30	0.06	7.7	38	0.8	47	150	0.31	28	
Gallery	1,186	Main entry lobbies	10	12	5	60	0.06	71.2	131	0.8	164	1520	0.11	112	
Multipurpose	6,646	Conference/meeting	50	332	5	1660	0.06	398.8	2059	0.8	2573	3500	0.74	800	
<b>TOTAL</b>	<b>8,555</b>										<b>219</b>			<b>947</b>	<b>650</b>

MAX Zp =	0.31
Ev =	0.84

System Population	26
Sum of Zones	38
Occupant Diversity	0.68

OUTDOOR AIR INTAKE FLOW RATE (Vot)	=	1132
TOTAL EXH. RATE PLUS 10% FOR PRESSURIZATION	=	715
FINAL VENT. AIR REQUIREMENT (Greater of Above)	=	1130

NOTES:  
1. COMPARISON OF THE TOTAL EXHAUST TO THE TOTAL VENTILATION IS TO ENSURE THAT THE VENTILATION AIR IS A MINIMUM OF 10% GREATER THAN THE EXHAUST AIR.  
2. OA REQUIRED FOR MULTIPURPOSE ASSEMBLY HAS BEEN REDUCED USING ASHRAE IAQ METHOD. SEE CALCULATION THIS SHEET.

Architect:

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Issue Date:  
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PRINCIPAL IN CHARGE:  
D. WALKER

Project Address:  
**LUCK'S CANNERY - LOWER BLDG. RENNOVATION - PHASE IA**

Project Number:  
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Sheet Title:  
**NOTES & LEGENDS - MECHANICAL**

Sheet Number:  
**M001**

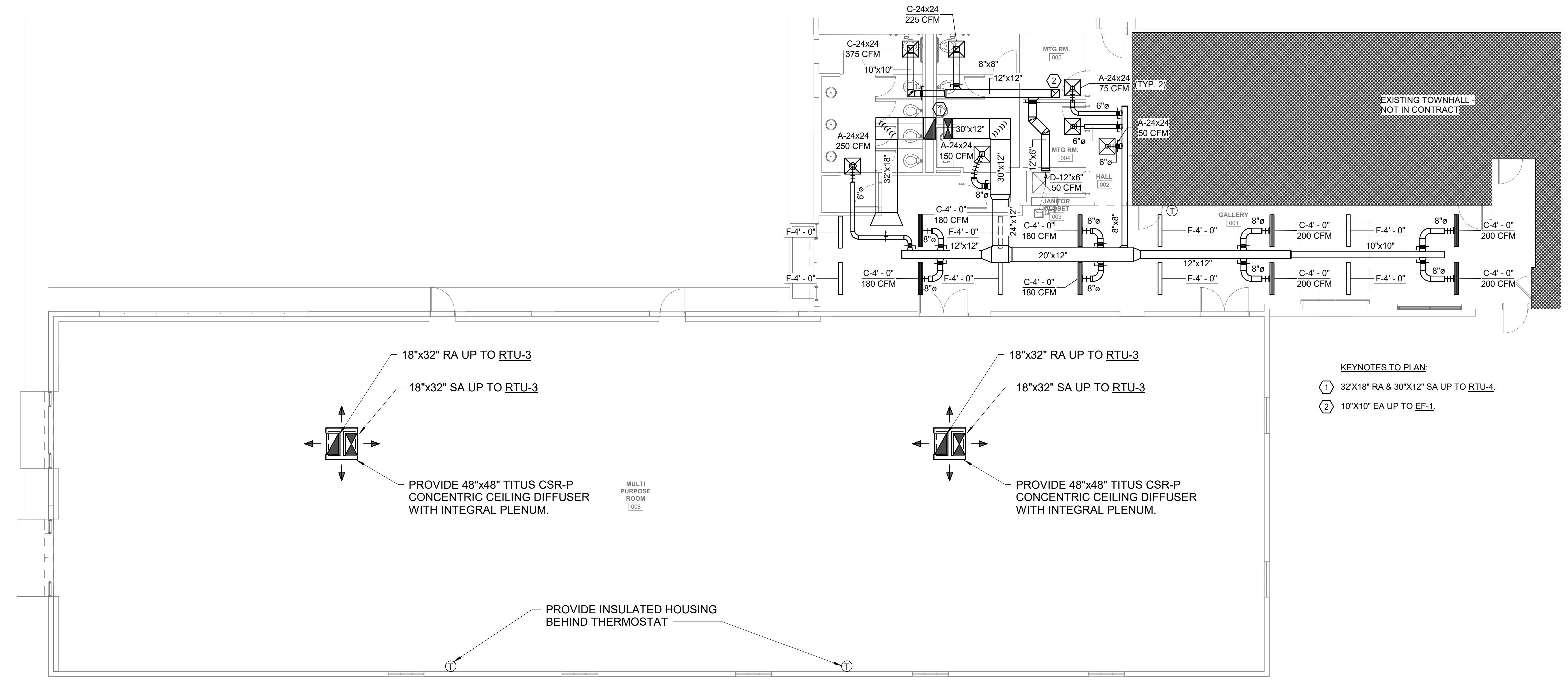
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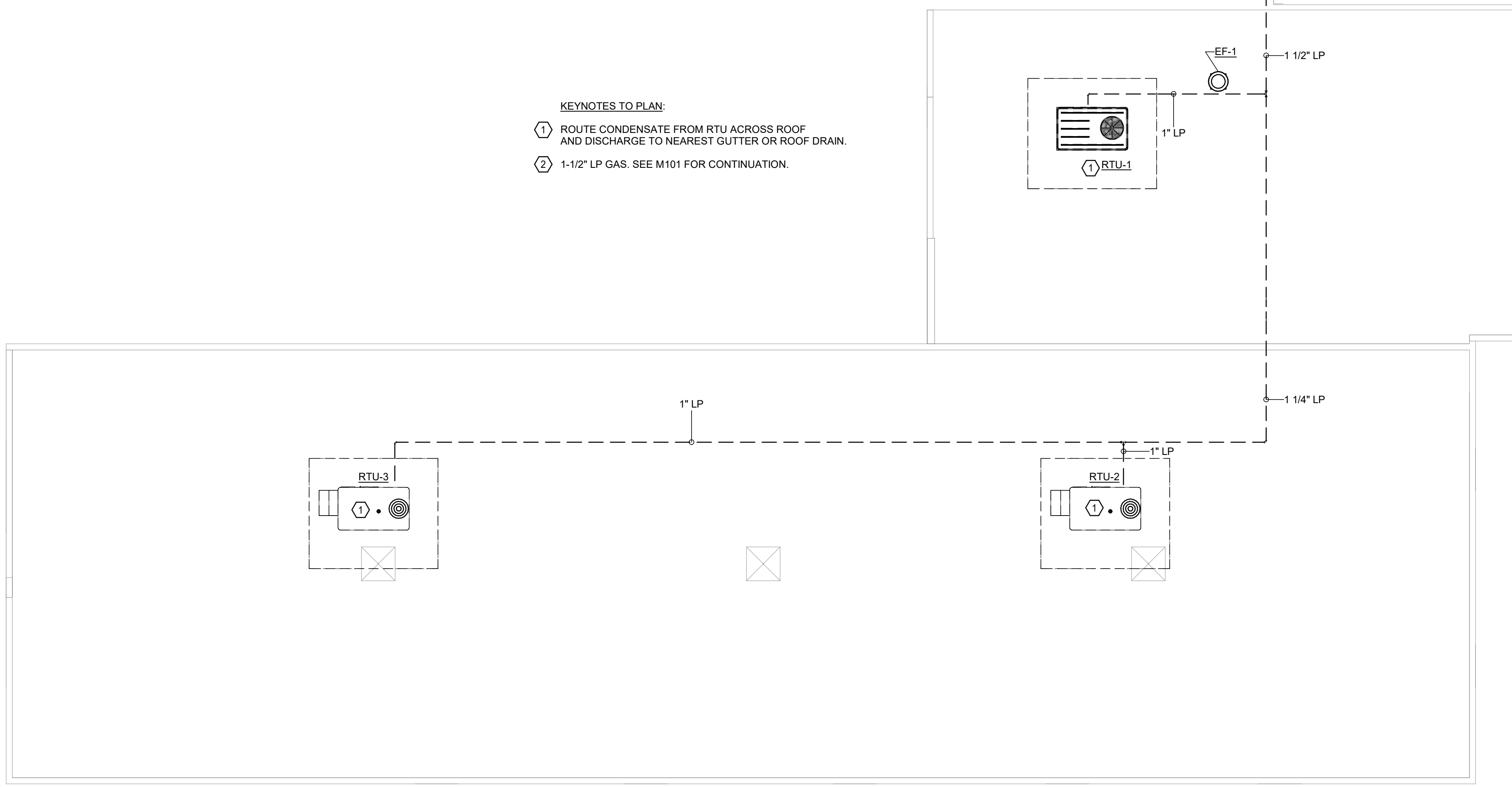




- KEYNOTES TO PLAN:**
- ① 32"x18" RA & 30"x12" SA UP TO RTU-4.
  - ② 10"x10" EA UP TO EF-1.

1 TOWNHALL FINISHED FLOOR - MECHANICAL PLAN  
 M100 SCALE: 1/8" = 1'-0"

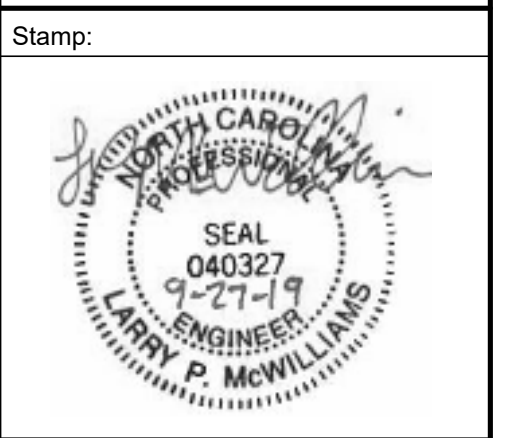
- KEYNOTES TO PLAN:**
- ① ROUTE CONDENSATE FROM RTU ACROSS ROOF AND DISCHARGE TO NEAREST GUTTER OR ROOF DRAIN.
  - ② 1-1/2" LP GAS. SEE M101 FOR CONTINUATION.



2 TOWNHALL ROOF PLAN - MECHANICAL  
 M100 SCALE: 1/8" = 1'-0"

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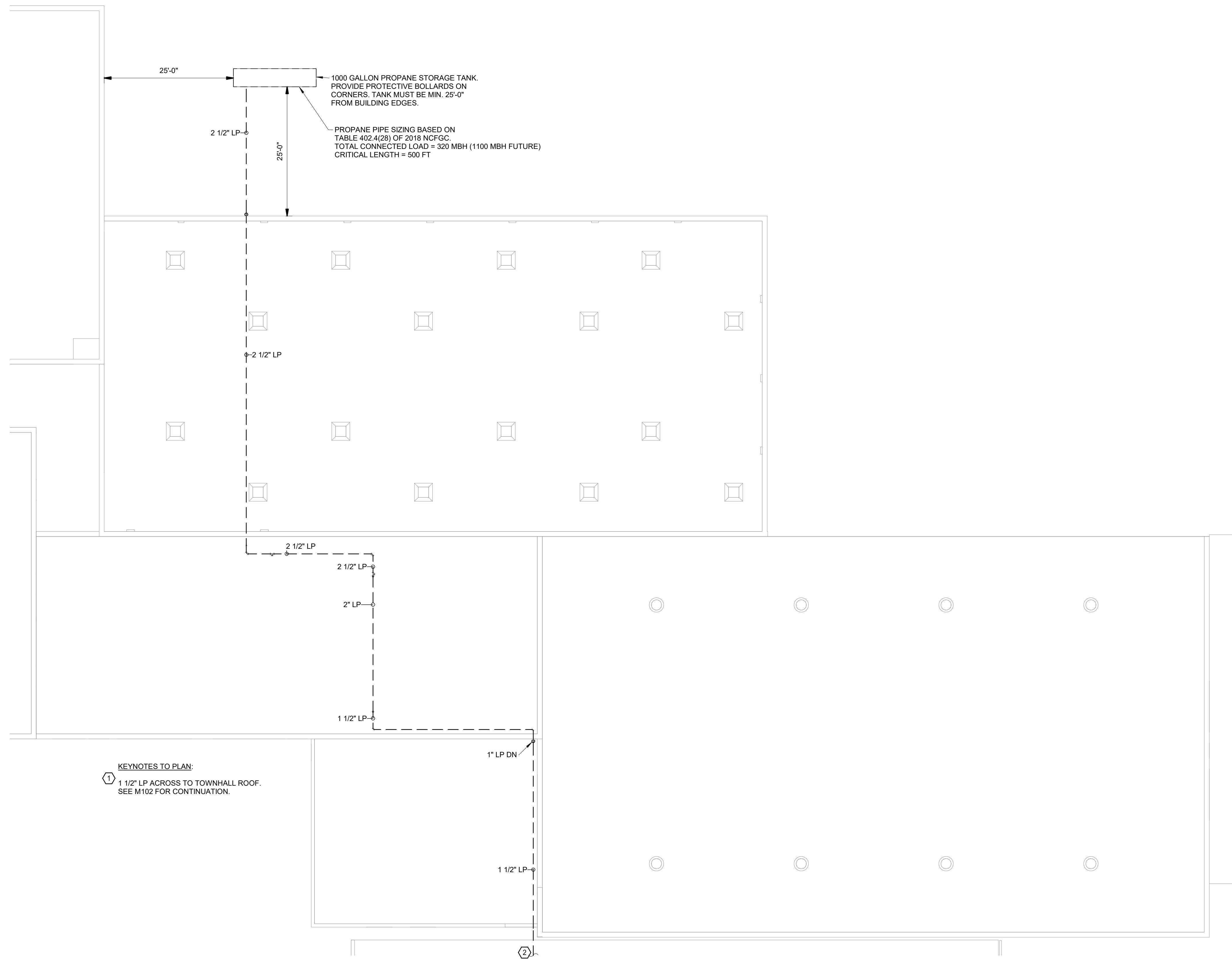
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**TOWNHALL FLOOR PLAN - MECHANICAL**

Sheet Number:  
**M100**

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**KEYNOTES TO PLAN:**  
 ① 1 1/2" LP ACROSS TO TOWNHALL ROOF.  
 SEE M102 FOR CONTINUATION.

**1**  
**M101** **GAS PIPING PLAN - MECHANICAL**  
 SCALE: 3/32" = 1'-0"

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Project Number:  
 201901.1

Sheet Title:  
**GAS PIPING PLAN - MECHANICAL**

Sheet Number:  
**M101**

EXHAUST FAN SCHEDULE		
DESIGNATION	EF-1	
LOCATION	ROOF	
AIRFLOW (CFM)	650	
DRIVE TYPE	DIRECT	
EXT. STATIC (IN. W.G.)	0.25	
FAN SPEED (RPM)	1261	
MOTOR HP (INPUT WATTS)	1/10	
VOLTAGE/PHASE	115/1	
CONTROL TYPE	1	
MANUFACTURER	GREENHECK	
MODEL NO.	G-090-VG	
ACCESSORIES	A,B,C,D,E	
NOTES:		
CONTROL TYPE:		
1. INTERLOCK WITH TIMECLOCK TO RUN DURING OCCUPIED TIMES		
ACCESSORIES:		
A. BACKDRAFT DAMPER		
B. PREWIRED DISCONNECT		
C. ECM MOTOR WITH MOTOR MOUNTED CONTROL DIAL		
D. 14" ROOF CURB WITH DAMPER TRAY		
E. ALUMINUM BIRDSCREEN		

PACKAGED ROOFTOP AIR CONDITIONER SCHEDULE				
DESIGNATION	RTU-1	RTU-2	RTU-3	
AREA SREVED	GALLERY	MULTIPURPOSE	MULTIPURPOSE	
MANUFACTURER	TRANE	TRANE	TRANE	
MODEL NO.	YHC074H	YHC060H	YHC060H	
NOMINAL TONS	6	5	5	
SUPPLY AIRFLOW (CFM)	2150	2000	2000	
MIN. O/A AIR FLOW (CFM)	350	400	400	
MAX. O/A AIRFLOW (CFM)	-	-	-	
EXT. STATIC PRESSURE, (IN. W.G.)	1	1	1	
FAN HORSEPOWER	1	1	1	
COMPRESSOR QTY.	2	1	1	
COMP. R.L.A. (EA)	14.6 / 7.1	15.9	15.9	
CONDENSOR FAN QTY.	1	1	1	
COND. FAN F.L.A. (EA)	3.5	2.5	2.5	
UNIT MIN. CIRC. AMPACITY (MCA)	37	30	30	
MAX. FUSE SIZE (AMPS)	50	45	45	
VOLTAGE/PHASE	208/3	208/3	208/3	
GROSS TOTAL COOLING (BTU/H)	70,500	61,000	61,000	
GROSS SENSIBLE COOLING (BTU/H)	53,000	45,800	45,800	
ENTERING AIRTEMP. (DB/WB)	80/67	80/67	80/67	
UNIT S.E.E.R.	16	16.2	16.2	
LP GAS HEAT INPUT (MBH)	120	100	100	
LP GAS HEAT OUTPUT (MBH)	96	81	81	
UNIT WEIGHT, INCLUDING CURB (LBS.)	1100	900	900	
REMARKS	1 THRU 8	1 THRU 10	1 THRU 10	
NOTES:				
1. PROVIDE WITH 14" HIGH INSULATED ROOF CURB.				
2. PROVIDE WITH SINGLE POINT ELECTRICAL CONNECTION KIT.				
3. PROVIDE WITH 100% ECONOMIZER WITH DIFFERENTIAL ENTHALPY CONTROL AND BAROMETRIC RELIEF.				
4. PROVIDE FACTORY MOUNTED NON FUSE DISCONNECT.				
5. PROVIDE FACTORY MOUNTED AND POWERED 120V WEATHERPROOF GFI SERVICE RECEPTACLE FOR EACH UNIT..				
6. PROVIDE WITH SINGLE ZONE VAV CONTROL.				
7. PROVIDE WITH 7-DAY PROGRAMMABLE THERMOSTAT WITH HUMIDITY CONTROL.				
8. PROVIDE WITH HOT GAS REHEAT				
9. PROVIDE WITH WALL MOUNTED CO2 SENSOR FOR MIN/MAX OA CONTROL				
10. PROVIDE BI-POLAR IONIZATION BY GLOBAL PLASMA OR EQUAL.				

AIR DISTRIBUTION DEVICE SCHEDULE	
A - TITUS MODEL OMNI-AA LOUVER-FACED CEILING DIFFUSER	
B - TITUS MODEL 50F RETURN/EXHAUST EGGRATE GRILLE	
C - TITUS MODEL ML-38 (2 - 3/4" SLOTS) LINEAR SLOT DIFFUSER W/ MPI-38 INSULATED PLENUM (W/O.B.D)	
D - TITUS MODEL 350FS SIDEWALL RETURN GRILLE (W/O.B.D.)	
E - NOT USED	
F - TITUS MODEL MLR-38 (2 - 3/4" SLOTS) LINEAR SLOT RETURN GRILLE	
NOTES:	
1. COLOR TO BE SPECIFIED BY ARCHITECT.	
2. NECK SIZES TO MATCH SIZE OF DUCTWORK TO EACH AIR DEVICE.	
EACH AIR DEVICE SHALL HAVE A VOLUME DAMPER IN THE DUCT CONNECTED TO THE DEVICE UNLESS NOTED OTHERWISE. IF AIR DEVICE IS LOCATED IN AN INACCESSIBLE CEILING, VOLUME DAMPER SHALL BE INTEGRAL WITH THE AIR DEVICE.	

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**LUCK'S CANNERY  
REDEVELOPMENT  
-PHASE I-  
Seagrove, NC 27341**

Stamp:

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Issue Date:  
**07.27.2019**

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BLDG. RENNOVATION -  
PHASE IA**

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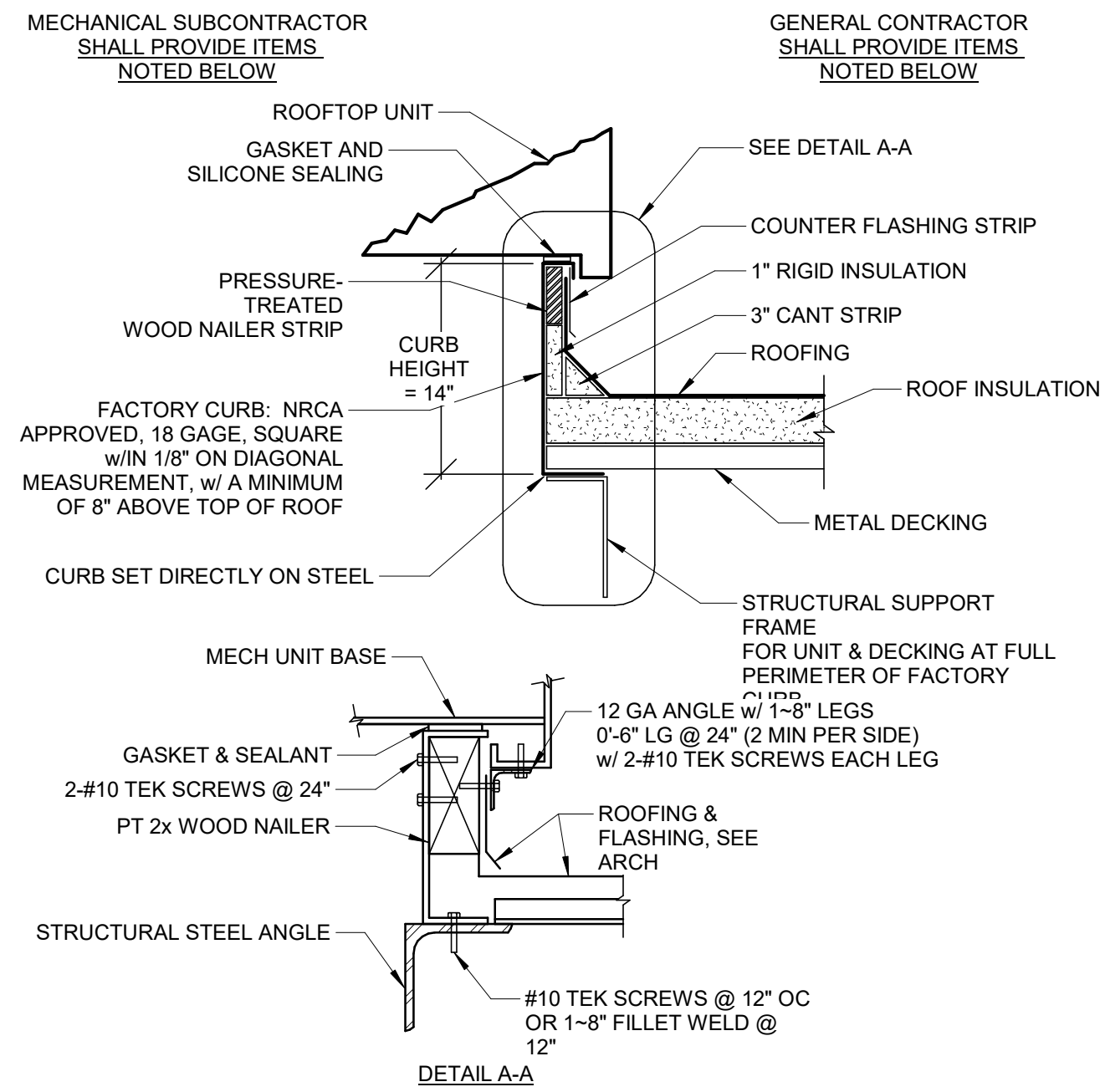
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MECHANICAL**

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**M201**

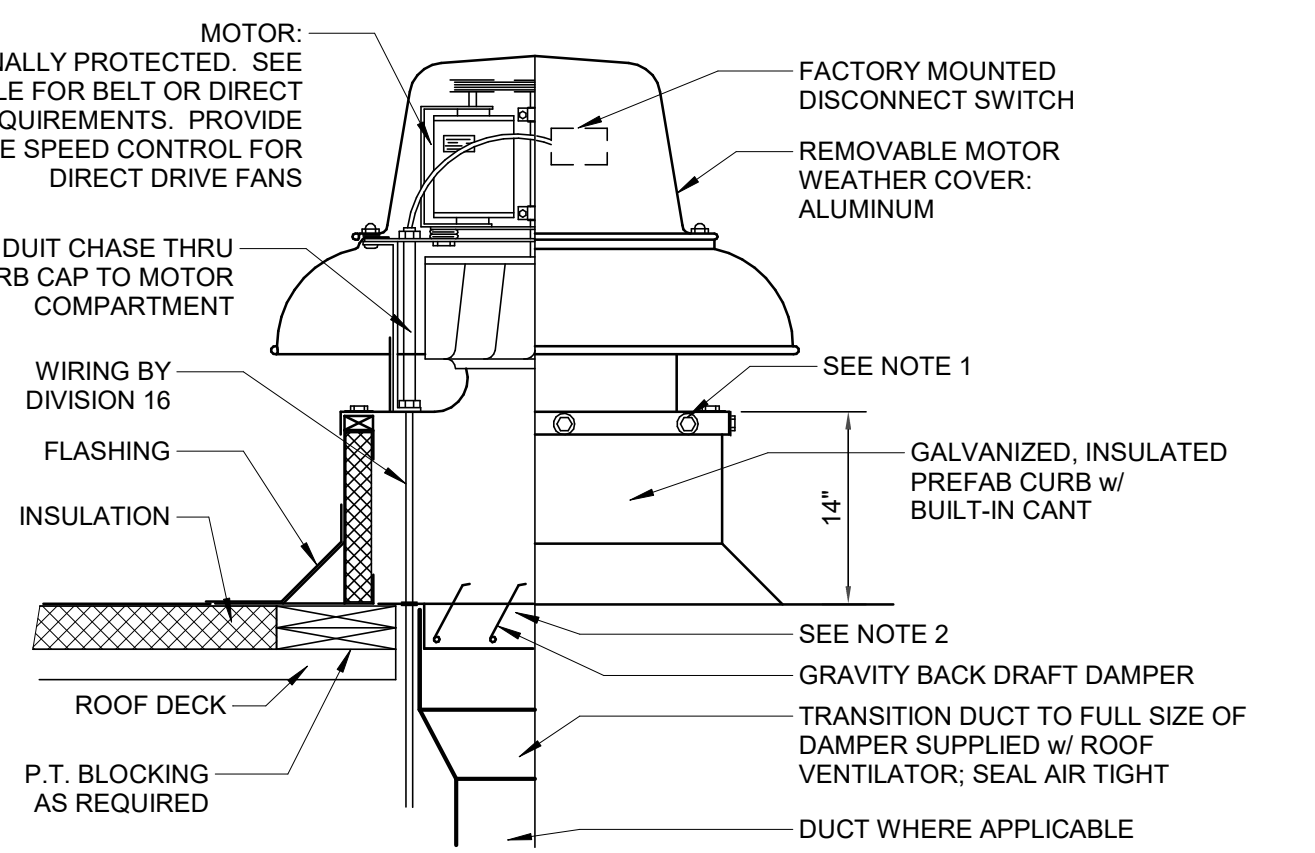
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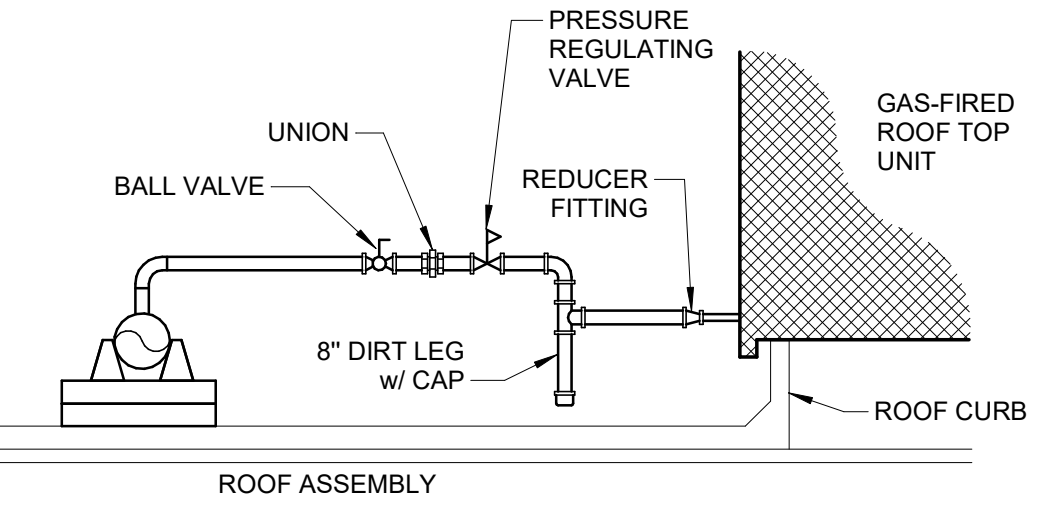


**3 RTU CONDENSATE DRAIN DETAIL**  
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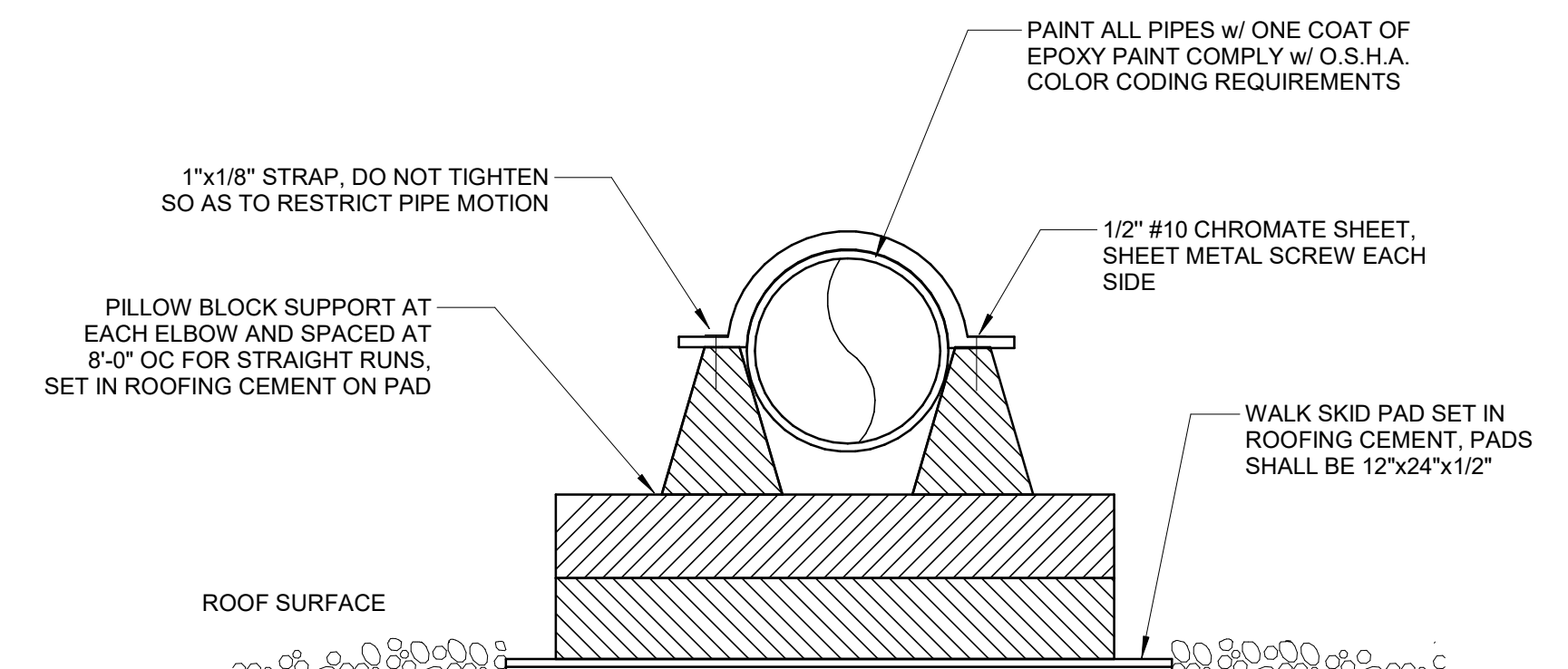


- NOTES:**
- MECHANICAL SUBCONTRACTOR SHALL FURNISH ROOF OPENING SIZES & LOCATIONS, FOR STRUCTURAL SUPPORT FRAMING BY GENERAL CONTRACTOR.
  - THIS CURB DETAIL WILL ALLOW THE UNIT TO SLOPE w/ THE SLOPE OF THE ROOF PITCH. THIS DETAIL CAN ONLY BE USED (A) IF THE CONDENSATE DRAIN PAN OUTLET IS ON THE LOW SIDE OF THE UNIT, OR (B) IF THE CONDENSATE DRAIN PAN IS NOT AFFECTED BY SLOPE. HIS DETAIL CAN NOT BE USED IF THE CONDENSATE DRAIN CONNECTION IS ON THE HIGH SIDE OF THE UNIT.
  - COORDINATE THIS DETAIL w/ ARCHITECTURAL APPLICATIONS FOR THE ROOF.

**6 ROOFTOP UNIT CURB DETAIL**  
SCALE: NTS



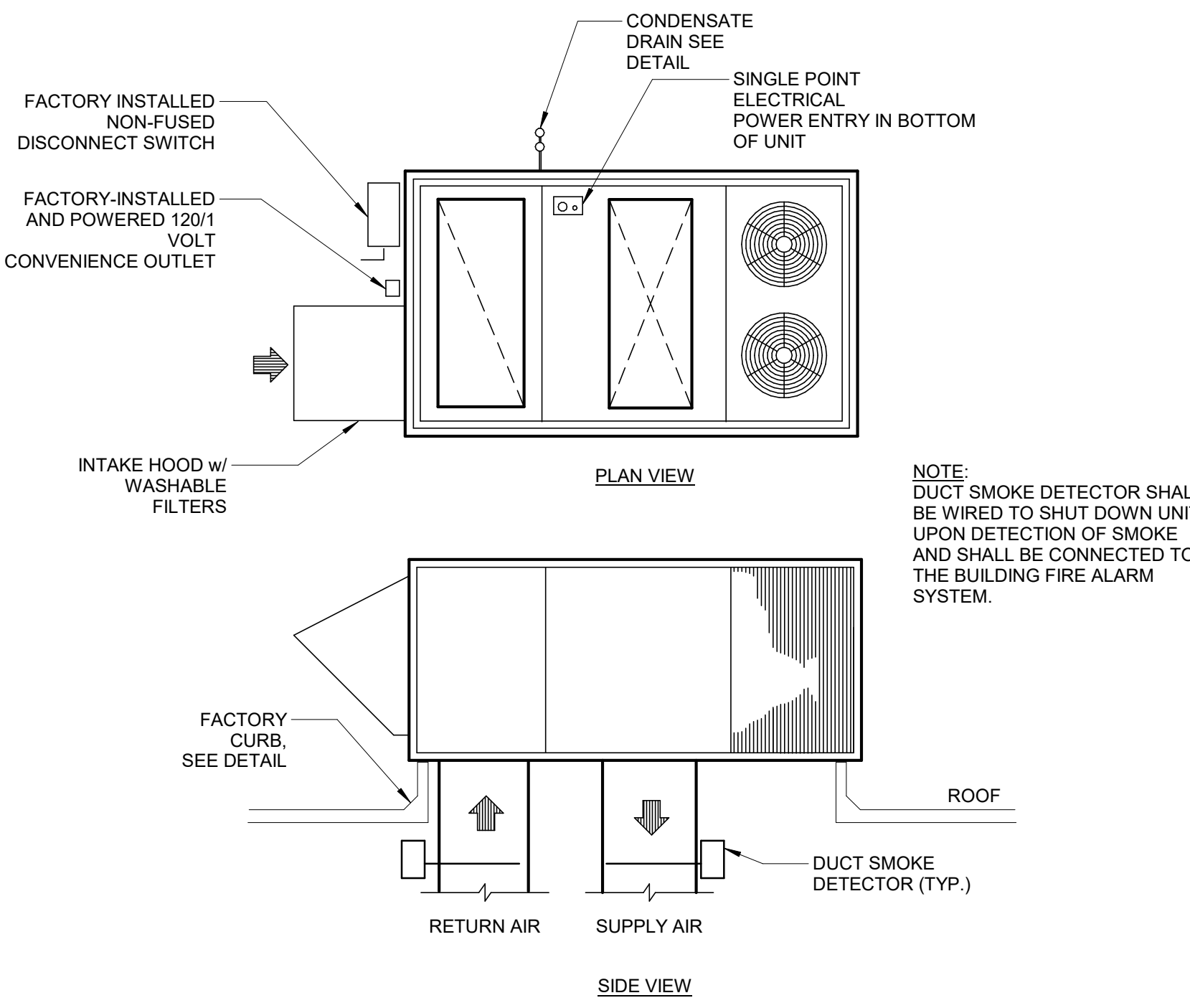
**7 GAS PIPING CONNECTION DETAIL**  
SCALE: NTS



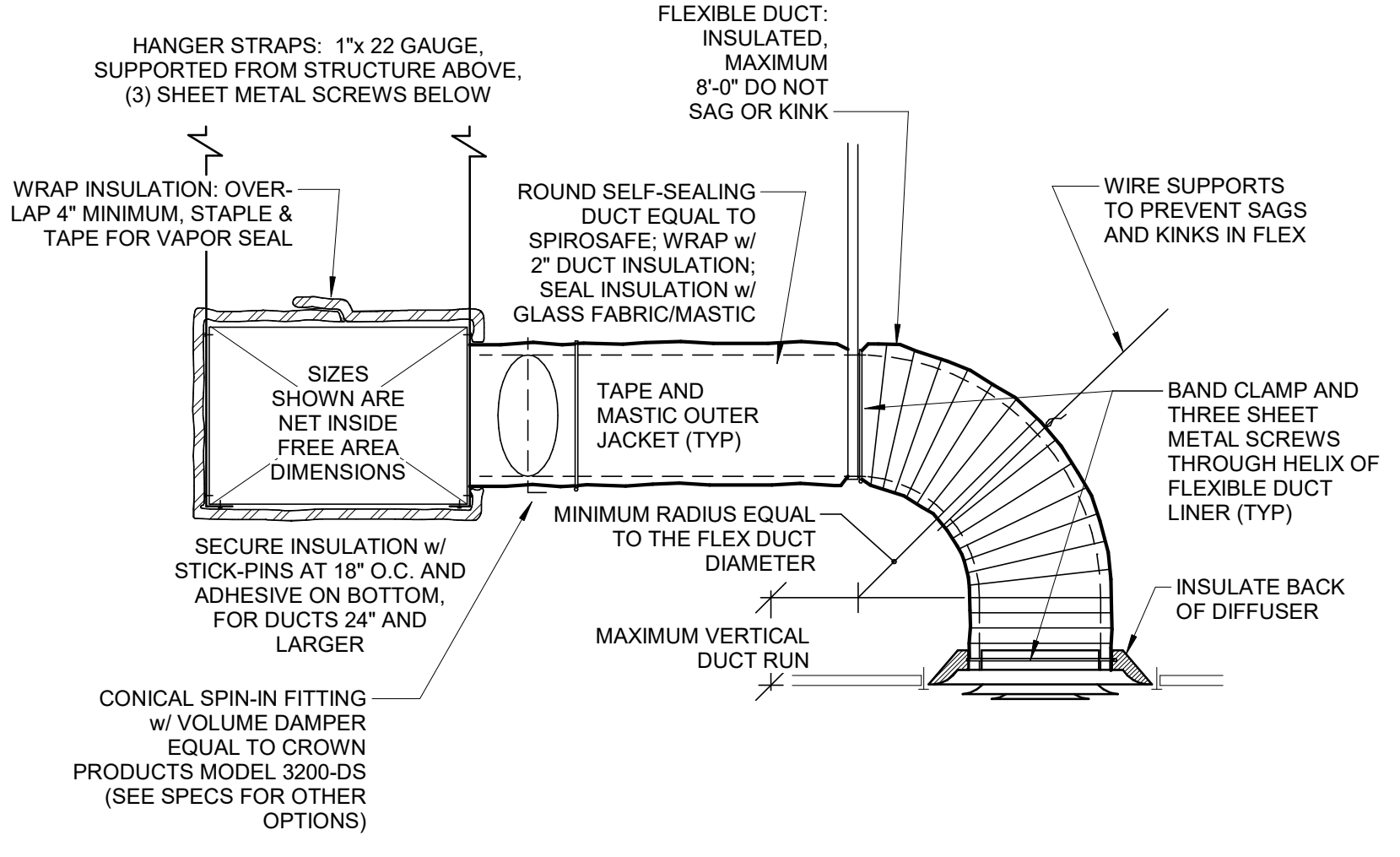
**8 GAS PIPING SUPPORT DETAIL**  
SCALE: NTS

- NOTES:**
- SECURE CURB CAP TO WOOD NAILING STRIP w/ 1/4" STAINLESS STEEL LAG BOLTS NOT OVER 12" ON CENTER.
  - SECURE ROOF CURB, DUCT WORK AND DAMPER TO ROOF w/ EXPANSION BOLTS (CONCRETE ROOF) OR RUST RESISTANT BOLTS (METAL DECK AND BAR JOIST ROOF).
  - SIZE OF DUCT THROUGH ROOF SHALL NOT BE LARGER THAN CURB SUPPLIED w/ ROOF VENTILATOR.
  - RUN ELECTRIC LINES THROUGH CLEARANCE HOLE PROVIDED IN GRAVITY DAMPER, THEN THROUGH VENTILATOR ELECTRICAL CONDUIT GUIDE.

**4 CENTRIFUGAL ROOF EXHAUST FAN DETAIL**  
SCALE: NTS

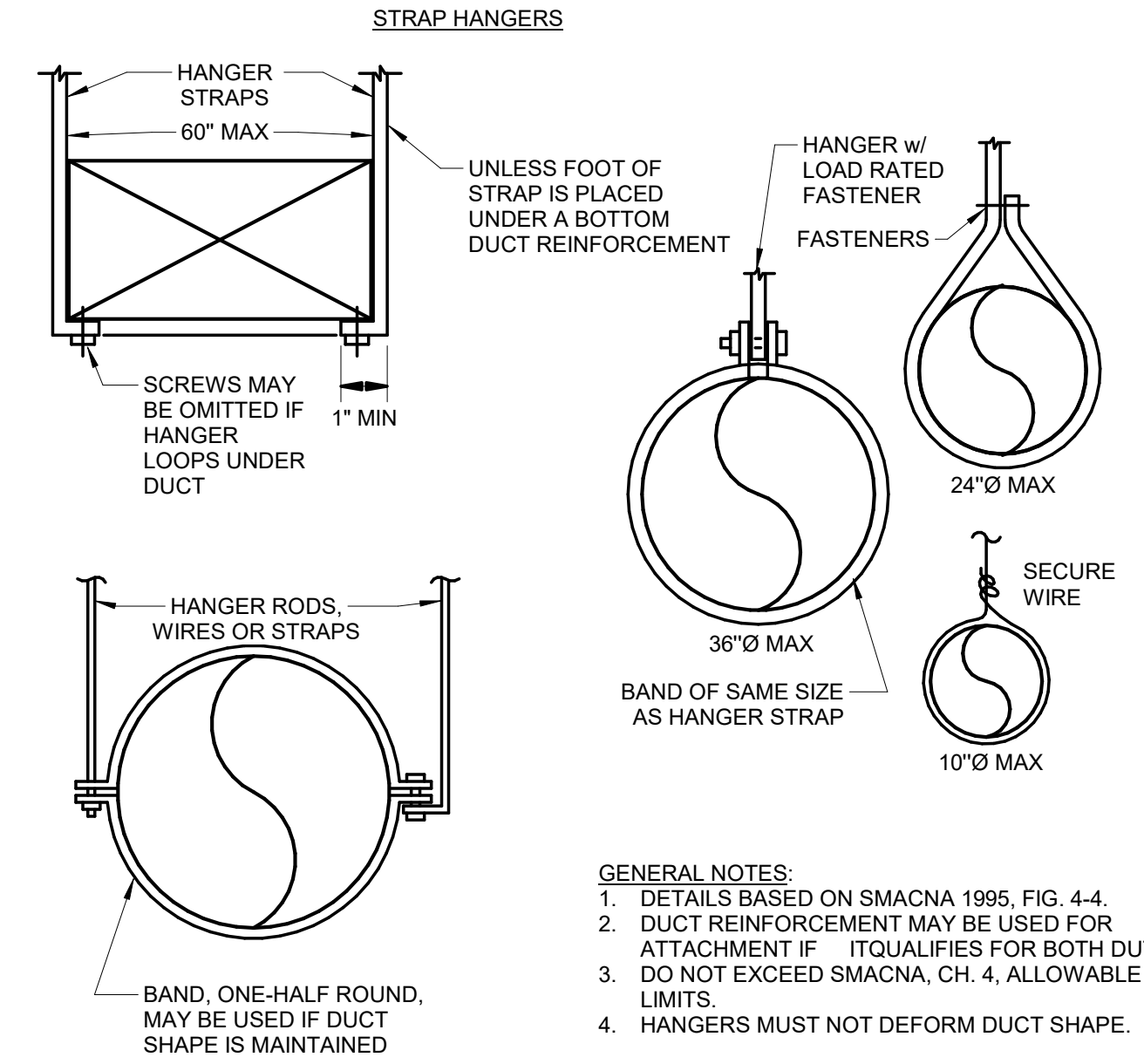


**5 ROOFTOP UNIT DETAIL**  
SCALE: NTS



- DUCT FABRICATION NOTES:**
- DUCTS SHALL BE FABRICATED & INSTALLED PER THE LATEST EDITION OF SMACNA DUCT CONSTRUCTION STANDARDS.
  - ALTERNATE INTERPRETATIONS OF SMACNA DUCT MATERIAL, HANGERS AND REINFORCEMENTS ARE SUBJECT TO ENGINEER APPROVAL, AND REQUIRE SEPARATE SUBMITTAL OF THE ALTERNATES.
  - FLEXIBLE DUCT CONNECTORS SHALL BE PROVIDED WHERE SHOWN ON THE PLAN.
  - SUPPLY AIR DROPS FROM ROOF TOP UNITS SHALL TRANSITION FROM THE UNIT OPENING SIZE TO SQUARE NECK ELBOWS, w/ SIZES AS SHOWN ON THE PLAN. IF TWO SUPPLY AIR DUCT RUNS ARE AT THE UNIT, THEN TWO SEPARATE DROPS & ELBOWS SHALL BE PROVIDED.
  - RETURN AIR DROPS FROM THE ROOF TOP UNITS SHALL BE FULL SIZE OF THE UNIT OPENING.
  - ELBOWS SHALL BE SQUARE NECK (SAME IN OUT DIMENSION) w/ 2" DOUBLE THICKNESS TURNING VANES.
  - OFFSETS SHALL NOT REDUCE THE FREE AREA, AND SHALL NOT EXCEED 30". A RADIUS HEEL SHALL BE PROVIDED ON 30" OFFSETS. SMALLER OFFSETS SHALL BE MITERED AT BOTH THE HEEL & THROAT.
  - TRANSITIONS SHALL NOT EXCEED 1:3 RATIO (4" TRANSITION PER FOOT SINGLE SIDED TRANSITION, AND 8" PER FOOT DOUBLE SIDED TRANSITION).
  - INSULATION SHALL BE NFPA 90 APPROVED, w/ MINIMUM R-VALUE OF 6.0. WRAP INSULATION SHALL BE 2" THICK w/ ALUMINUM FOIL FACING. LINER SHALL BE 1" THICK, 1-1/2 PCF DENSITY.
  - RECTANGULAR BRANCH CONNECTIONS SHALL BE 45° ENTRY TYPE PER SMACNA FIGURE 2-6.
  - ROUND DUCT CONNECTIONS SHALL BE w/ "CROWN PRODUCTS COMPANY" 3200-DS FITTINGS, DAMPER AND HANDLE. SPRAY PAINT LOCATIONS OF HANDLES.
  - FLEXIBLE DUCT SHALL INCLUDE AN INNER POLYETHYLENE LINER, A SPRING HELIX, 1-1/4" BLANKET INSULATION (R-6.0), A FOIL OUTER VAPOR BARRIER, AND BE UL LISTED CLASS I AIR DUCT.
  - SEAL ALL SUPPLY, RETURN & OUTSIDE AIR DUCT JOINTS w/ DUCT SEALER; SEAL ALL INSULATION JOISTS w/ GLASS FABRIC AND MASTIC.

**1 CONCEALED DUCTWORK INSTALLATION DETAIL**  
SCALE: NTS



**2 DUCT SUPPORT DETAIL**  
SCALE: NTS

- GENERAL NOTES:**
- DETAILS BASED ON SMACNA 1995, FIG. 4-4.
  - DUCT REINFORCEMENT MAY BE USED FOR ATTACHMENT IF IT QUALIFIES FOR BOTH DUTIES.
  - DO NOT EXCEED SMACNA, CH. 4, ALLOWABLE LOAD LIMITS.
  - HANGERS MUST NOT DEFORM DUCT SHAPE.

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**LUCK'S CANNERY REDEVELOPMENT - PHASE I**  
Seagrove, NC 27341

Stamp:

Issue For:  
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PRINCIPAL IN CHARGE:  
D. WALKER

Project Address:  
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**DETAILS - MECHANICAL**

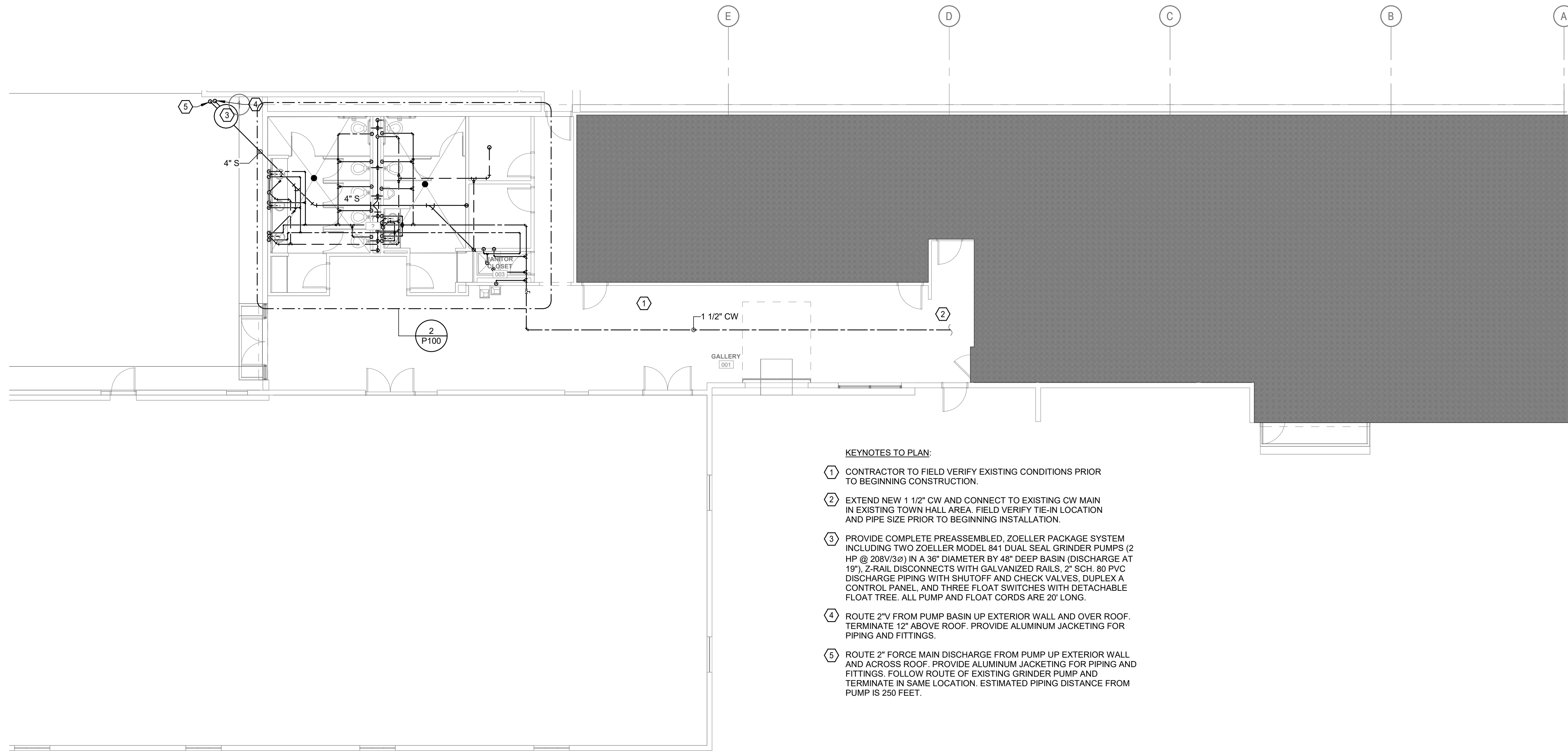
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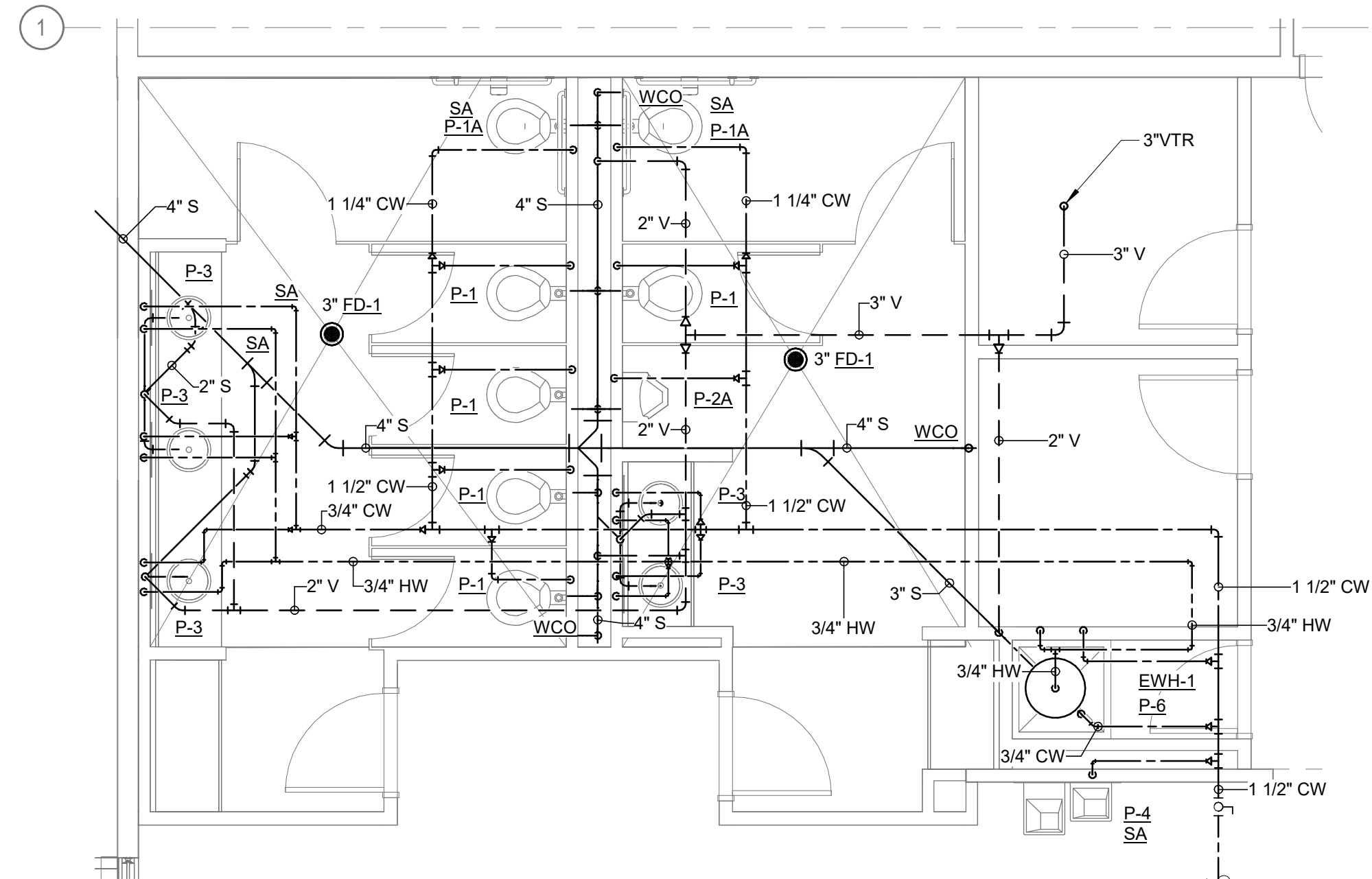
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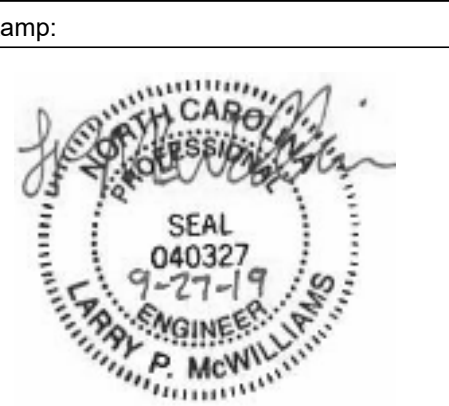


- KEYNOTES TO PLAN:**
- ① CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
  - ② EXTEND NEW 1 1/2" CW AND CONNECT TO EXISTING CW MAIN IN EXISTING TOWN HALL AREA. FIELD VERIFY TIE-IN LOCATION AND PIPE SIZE PRIOR TO BEGINNING INSTALLATION.
  - ③ PROVIDE COMPLETE PREASSEMBLED, ZOELLER PACKAGE SYSTEM INCLUDING TWO ZOELLER MODEL 841 DUAL SEAL GRINDER PUMPS (2 HP @ 208V/3ø) IN A 36" DIAMETER BY 48" DEEP BASIN (DISCHARGE AT 19"). Z-RAIL DISCONNECTS WITH GALVANIZED RAILS. 2" SCH. 80 PVC DISCHARGE PIPING WITH SHUTOFF AND CHECK VALVES, DUPLEX A CONTROL PANEL, AND THREE FLOAT SWITCHES WITH DETACHABLE FLOAT TREE. ALL PUMP AND FLOAT CORDS ARE 20' LONG.
  - ④ ROUTE 2" V FROM PUMP BASIN UP EXTERIOR WALL AND OVER ROOF. TERMINATE 12" ABOVE ROOF. PROVIDE ALUMINUM JACKETING FOR PIPING AND FITTINGS.
  - ⑤ ROUTE 2" FORCE MAIN DISCHARGE FROM PUMP UP EXTERIOR WALL AND ACROSS ROOF. PROVIDE ALUMINUM JACKETING FOR PIPING AND FITTINGS. FOLLOW ROUTE OF EXISTING GRINDER PUMP AND TERMINATE IN SAME LOCATION. ESTIMATED PIPING DISTANCE FROM PUMP IS 250 FEET.

1  
P100 TOWNHALL FINISHED FLOOR - PLUMBING PLAN  
SCALE: 1/8" = 1'-0"



2  
P100 ENLARGED PLAN - TOWNHALL RESTROOM - PLUMBING  
SCALE: 1/4" = 1'-0"



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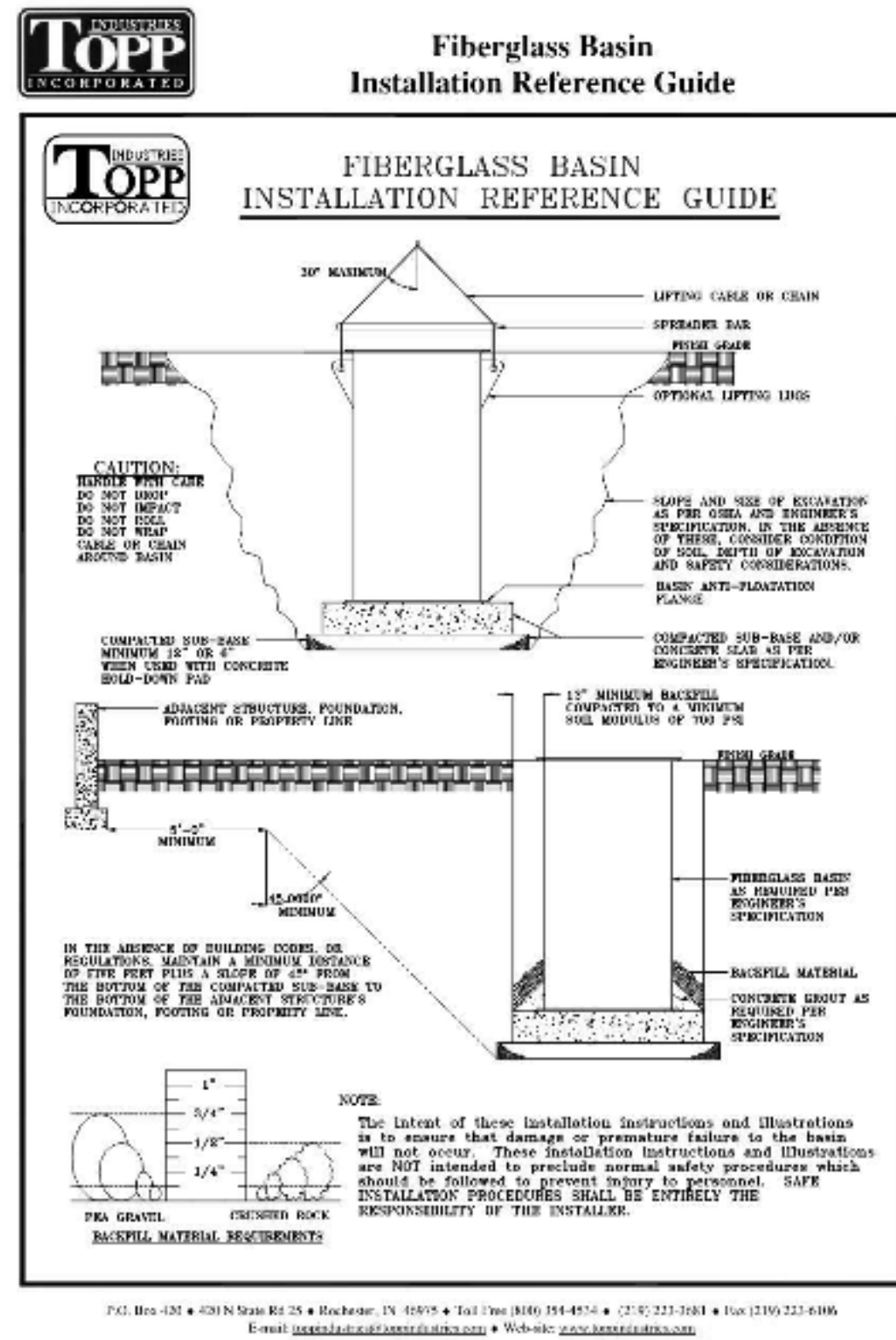
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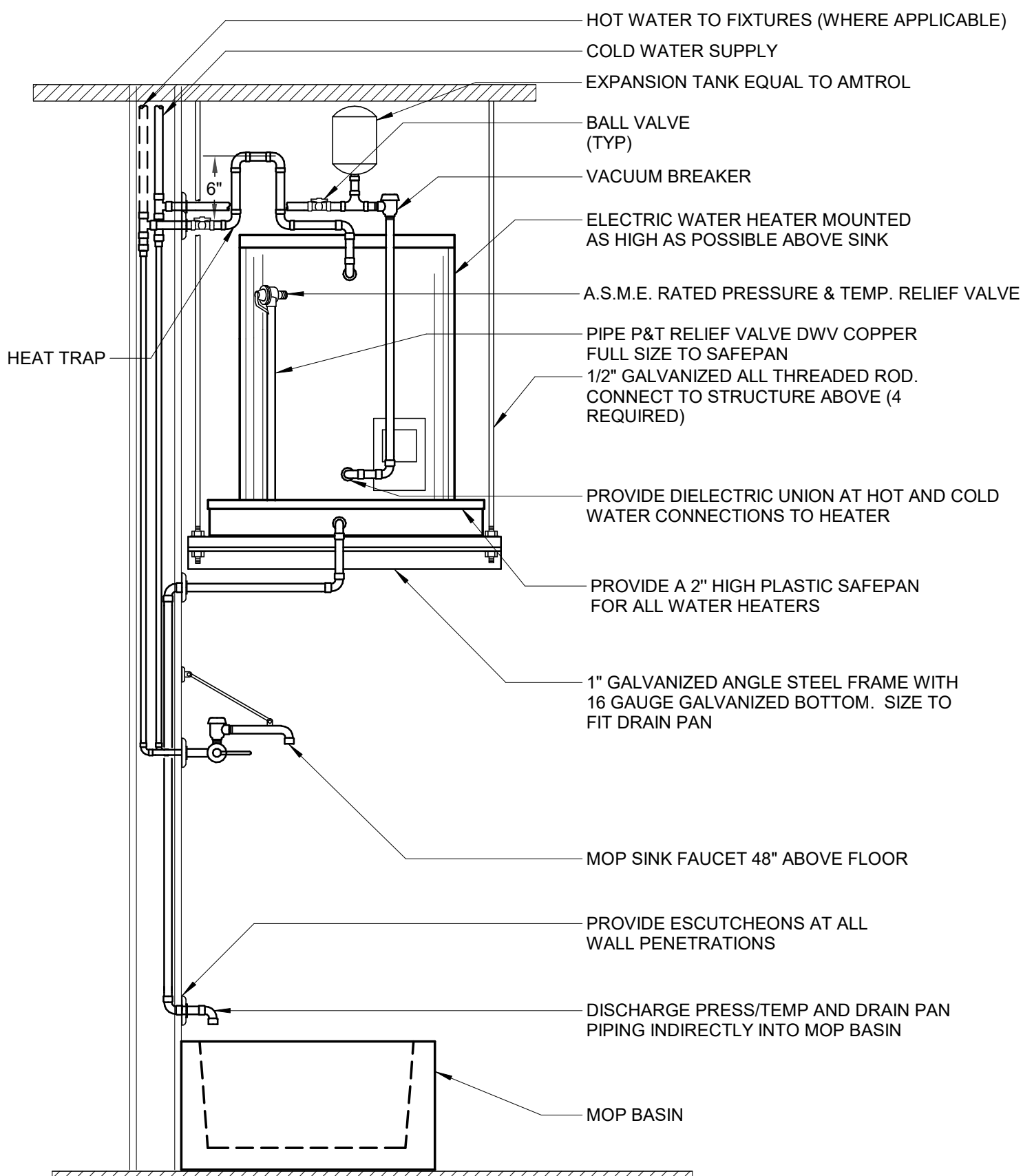
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**TOWNHALL FLOOR PLAN - PLUMBING**

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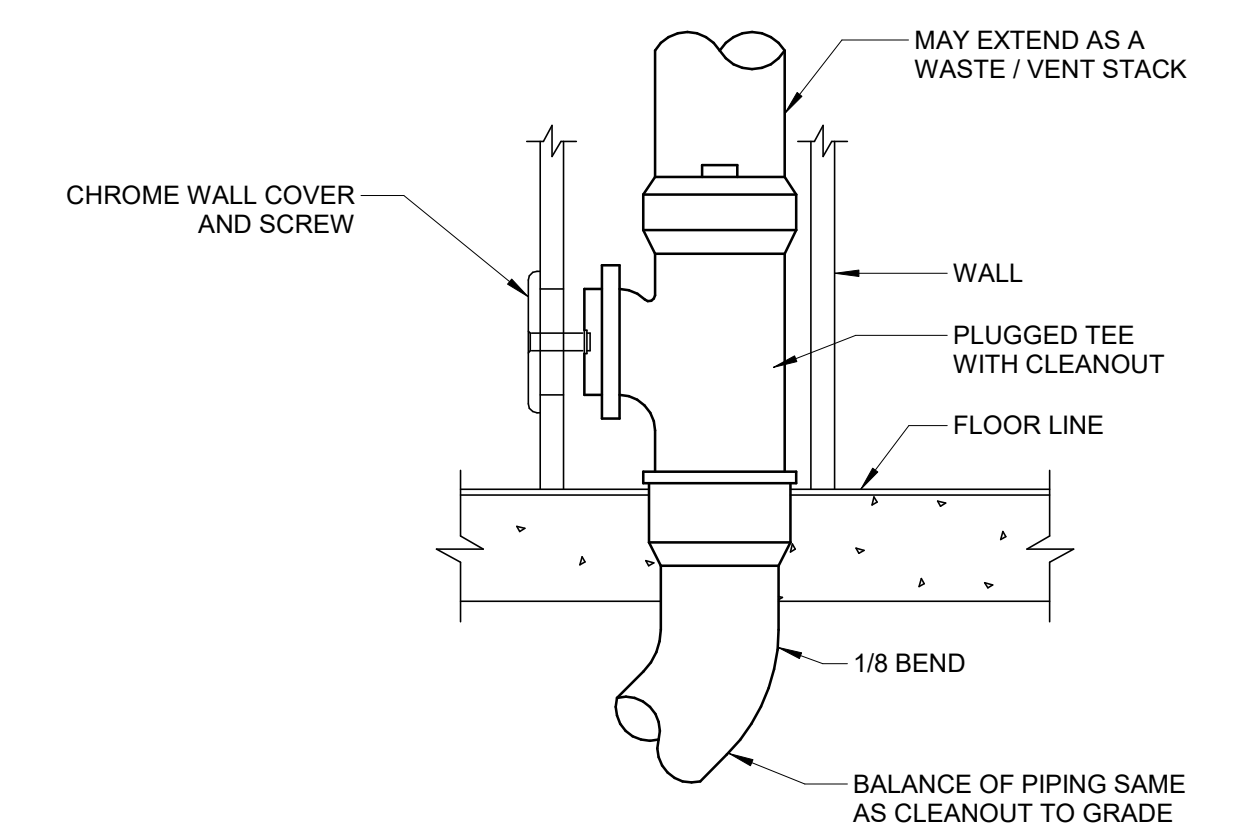
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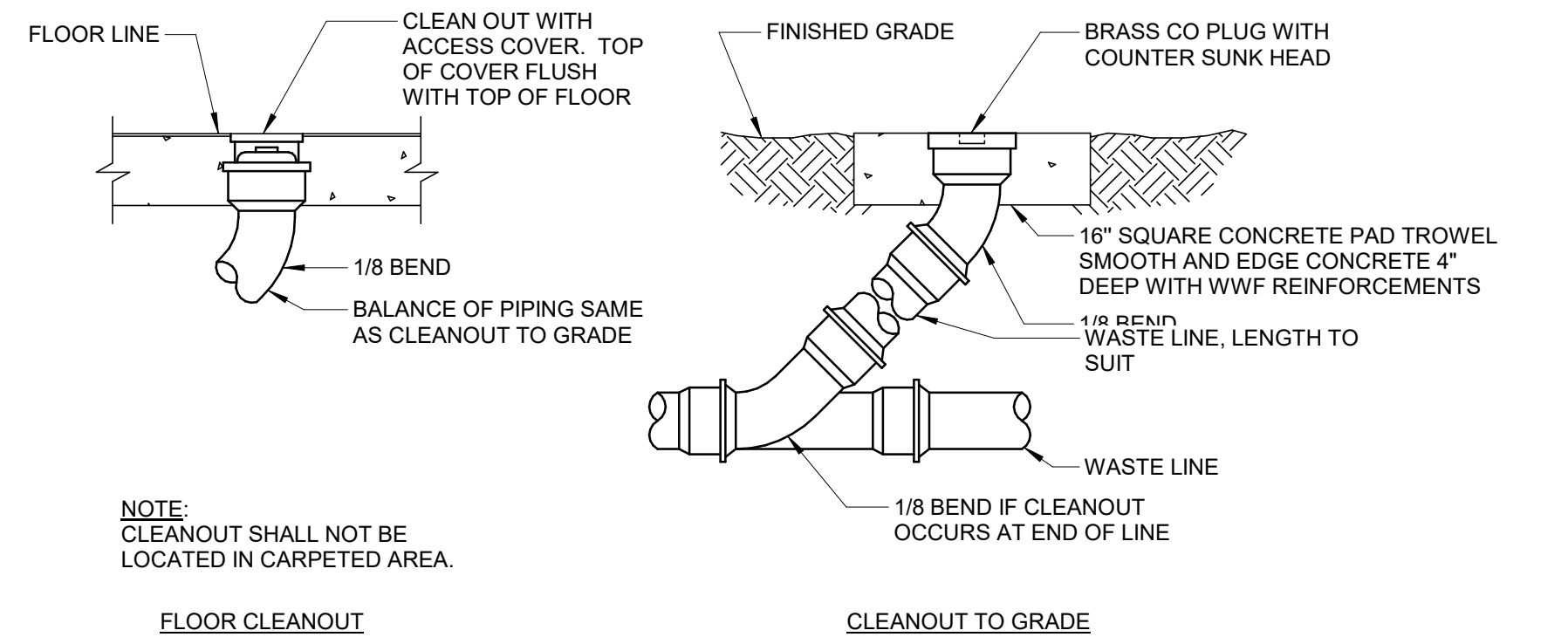
4 GRINDER PUMP BASIN INSTALLATION DETAIL  
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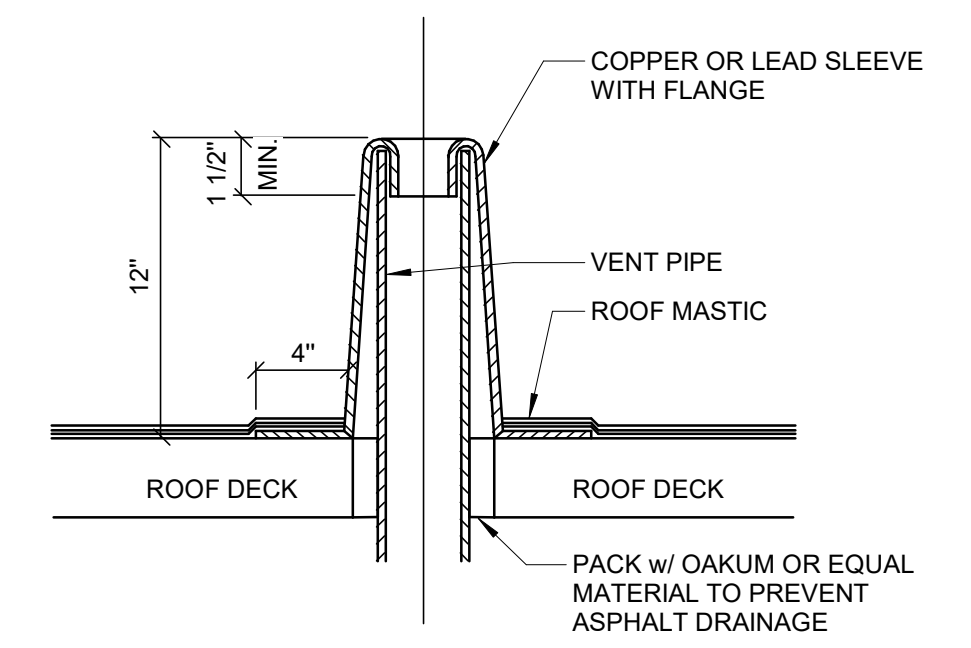
3 WATER HEATER DIAGRAM  
 P201 SCALE: NTS



1 WALL CLEANOUT DETAILS  
 P201 SCALE: NTS



2 CLEANOUT DETAILS  
 P201 SCALE: NTS



5 VENT THRU ROOF DETAIL  
 P201 SCALE: NTS

DESIGNATION	MANUFACTURER	MODEL #	FIXTURE DESCRIPTION	CONNECTION SCHEDULE			
				WASTE	VENT	CW	HW
P-1	AMERICAN STANDARD	"AFWALL" 2257.101	WALL-HUNG VITREOUS CHINA WATER CLOSET W/ ELONGATED BOWL MOUNT TOP OF RIM AT 14" A.F.F. FLUSH VALVE - SLOAN G2 8111 SENSOR (BATTERY) SEAT - (NO LID) - CHURCH MODEL 9500-SSC LOW WATER CONSUMPTION (1.28 GALLONS PER FLUSH)	3"	2"	1"	--
P-1A	AMERICAN STANDARD	"AWFALL" 2257.101	WALL-HUNG VITREOUS CHINA WATER CLOSET W/ ELONGATED BOWL (ADA) MOUNT TOP OF RIM AT 17" A.F.F. TO MEET A.D.A. FLUSH VALVE - SLOAN G2 8111 SENSOR (BATTERY) SEAT - (NO LID) - CHURCH MODEL 9500-SSC LOW WATER CONSUMPTION (1.28 GALLONS PER FLUSH) LOCATE FLUSH CONTROL ON WIDE SIDE OF STALL	3"	2"	1"	--
P-2A	AMERICAN STANDARD	"WASHBROOK" 6590.001	WALL-HUNG VITREOUS CHINA FLUSH VALVE URINAL (ADA) FLUSH VALVE - SLOAN ECOS 8186 (BATTERY) LOW WATER CONSUMPTION (0.125 GALLONS PER FLUSH) MOUNT TOP OF FRONT RIM AT 17" A.F.F. TO MEET A.D.A. PROVIDE SUITABLE FIXTURE CARRIER	2"	2"	3/4"	--
P-3	BY ARCH	BY ARCH	LAVATORY SPECIFIED BY ARCHITECT FAUCET - SLOAN OPTIMA EAF-250 SENSOR (BATTERY) TRAP - 1 1/4" CAST BRASS WITH C.O. PLUG SUPPLY - 3/8" ANGLE -TYPE WITH STOPS	2"	1 1/4"	1/2"	1/2"
P-4	ELKAY	LMABFL8WSSK	ELECTRIC WATER COOLER W/DUAL SPLIT-LEVEL BASINS (BARRIER FREE) WITH BOTTLE FILLING STATION, STAINLESS STEEL FINISH 7.5 GPH CAPACITY, 3.7 F.L.A.120-1-60.	2"	1 1/4"	1/2"	--
P-6	FIAT	TSB3012	36"x36" FLOOR-MOUNTED TERRAZZO MOP BASIN FAUCET- FIAT 830-AA FURNISH WALL-MOUNTED MOP HANGER, STAINLESS STEEL BUMPERGUARDS	3"	2"	1/2"	1/2"
EWH-1	A.O. SMITH	DEL-20-3	20-GALLON, LOW-BOY COMMERCIAL ELECTRIC WATER HEATER 3.0 KW, 208-1-60, 14.4 AMPS SET WATER TEMP. CONTROL TO 110° F	--	--	3/4"	3/4"
SA	ZURN	Z-1700 SERIES	WATER HAMMER ARRESTOR SIZE PER P.D.I. WH-201 VERIFY THAT COMPONENT IS ACCESSIBLE.	--	--	--	--
HB1	WOODFORD	24	INDOOR, CHROME PLATED BRASS, ANTI-SIPHON WALL HYDRANT WITH LOOSE KEY	--	--	1/2"	--
FD1	ZURN	Z-415 W/ TYPE "B" STRAINER	FLOOR DRAIN W/ 5" NICKALLOY STRAINER TOP SEE FLOOR PLANS FOR DRAIN SIZES. PROVIDE MIFAB "MI-GUARD" TRAP GUARD DEVICE	--	--	--	--
WCO	ZURN	Z-1446	WALL CLEANOUT - PROVIDE SCREW COVER MATCH SIZE OF PIPE.	--	--	--	--
YCO	ZURN	Z-1402	YARD CLEANOUT - PROVIDE SCREW COVER MATCH SIZE OF PIPE. PROVIDE 18"x18"x6" CONCRETE PAD	--	--	--	--

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**SCHEDULES & DETAILS - PLUMBING**  
 Sheet Number:  
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